

## ORDINANCE 1051B

### AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LINCOLN APPROVING THE AMENDMENT TO THE GENERAL DEVELOPMENT PLAN OF THE VILLAGE 7 PROJECT

#### Recitals

WHEREAS, the City of Lincoln adopted Ordinance No. 847B on June 8, 2010 approving the Village 7 Project General Development Plan (“GDP”); and

WHEREAS, Title 18, Chapter 18.32 of the Lincoln Municipal Code provides for the review and amendment of General Development Plans; and

WHEREAS, the City of Lincoln has received a request to amend the Village 7 Project General Development Plan in conjunction with other amendments and entitlements requested for the Village 7 project (“Project”); and

WHEREAS, the City of Lincoln City Council adopted Resolution No. 2010-095, on June 8, 2010, making findings concerning mitigation measures and alternatives, making a statement of overriding considerations, adopting a Mitigation Monitoring and Reporting Program, and certifying the Village 7 Project Final Environmental Impact Report (“Final EIR”) SCH No. 2005062001 pursuant to the California Environmental Quality Act (“CEQA”); and

WHEREAS, notices describing the proposed Project and the time and place of the City Council hearing, including a general explanation of the matter to be considered was published in a newspaper of local circulation and sent to neighboring property owners pursuant to Section 18.92 of the Lincoln Municipal Code; and

WHEREAS, the City, as Lead Agency, has prepared an Addendum to the Village 7 Specific Plan Environmental Impact Report (“EIR”) certified in June, 2010 (SCH No. 2005062001), and has concluded the preparation of an additional supplemental or subsequent EIR is not required prior to approval of the proposed; and

WHEREAS, the proposed Project retains the features of “traditional neighborhood design” identified in the Village 7 Project General Development Plan, including: distinct neighborhoods; defined natural features; parks that serve as gathering places; gridded streets; and permeable edges and green features (open space); and

WHEREAS, the proposed Project retains the mobility features of the Village 7 Project General Development Plan, including: Central Boulevard as a Complete Street; pedestrian and bicycle facilities with both on- and off- street routes and connections; and pedestrian and bicycle connections to schools, parks, and open space areas; and

WHEREAS, the proposed Project retains the parks and open space features of the Village 7 Project General Development Plan, including: backbone green infrastructure; parks that serve each residential neighborhood; parks at the entries of neighborhoods; an integrated open space network; and access points along the open space network. All homes remain within 660 feet (1/8 mile) of a Neighborhood Park; and

WHEREAS, the Village 7 Project General Development Plan as amended by the proposed Project is consistent with the 2050 General Plan; and

WHEREAS, on July 20, 2022 the Planning Commission of the City of Lincoln did hold a duly noticed public hearing and following discussion and public testimony recommended the City Council approve the proposed Village 7 Project General Development Plan amendments under Resolution No. 22-016; and

WHEREAS, the City Council has reviewed proposed amendments to the Village 7 Project General Development Plan (described in the attached Exhibit A) and has conducted a duly noticed public hearing.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF LINCOLN DOES HEREBY APPROVE THE AMENDMENT TO THE VILLAGE 7 PROJECT GENERAL DEVELOPMENT PLAN FOR THE LEWIS PROPERTY AS FOLLOWS:

Section 1. The foregoing recitals are true and correct, and are hereby incorporated by reference.

Section 2. This Ordinance incorporates, and by this reference makes a part hereof, previously approved conditions of approval and mitigation measures associated with the previously approved Village 7 Project General Development Plan, and affirms the applicability of such conditions of approval and mitigation measures to the amended Village 7 Project General Development Plan.

Section 3. Approval. Based on the findings set forth in this ordinance, and the evidence in the Staff Report and accompanying documents, Planning Commission recommendations, and public testimony, the City Council does hereby amend the Village 7 General Development Plan as described in the attached Exhibit A.

Section 4. CEQA. In accordance with California Environmental Quality Act ("CEQA"), the City determined the Vesting Tentative Subdivision Map Amendments to include minor technical changes; therefore, an Addendum to the certified EIR was prepared, which concluded the proposed changes would not result in any new significant information of substantial importance, new environmental impacts, new mitigation measures, new or revised alternatives, or an increase of the severity of previously identified impacts that would require major revisions to the original 2010 certified Village 7 Specific Plan EIR. As a result, the preparation of an additional supplemental or subsequent EIR is not required prior to approval of the proposed entitlements; and

Section 5. Severability. If any section, subsection, paragraph, sentence, clause or phrase of this ordinance for any reason shall be held to be invalid or unconstitutional, the decision shall not affect the remaining portions of this ordinance. The City Council of the City hereby declares that it would have passed this ordinance and each article, section, subsection, paragraph, sentence, clause or phrase which is a part thereof, irrespective of the fact that any one or more articles, sections, subsections, paragraphs, sentences, clauses or phrases are declared to be invalid or unconstitutional.

Section 6. Effective Date and Publication. This ordinance shall take effect thirty (30) days after the adoption, and shall be published once within fifteen (15) days of its passage in the *Lincoln News Messenger*, a newspaper of general circulation, published and circulated in the City of Lincoln, County of Placer and thenceforth and thereafter shall be in full force and effect.

**INTRODUCED** at a regular meeting of the City Council of the City of Lincoln held on August 9, 2022.

**PASSED AND ADOPTED** this 23<sup>rd</sup> day of August, 2022, by the following roll call vote:

AYES: COUNCILMEMBERS: Joiner, Karleskint, Lauritsen, Silhi, Andreatta

NOES: COUNCILMEMBERS:

ABSENT: COUNCILMEMBERS:

  
\_\_\_\_\_  
Holly Andreatta, Mayor

ATTEST:

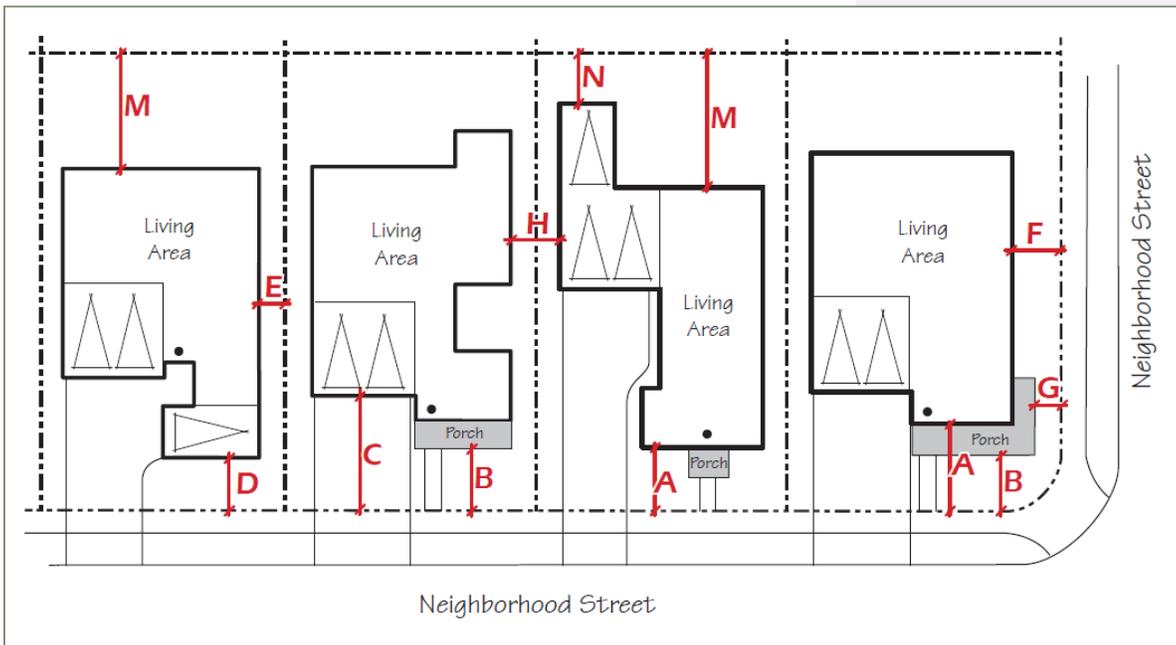
  
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Gwen Scanlon, City Clerk

# VILLAGE 7

## General Development Plan

**Table 4-6: Front Loaded Villa Homes (50'x100')**

Lot Size and Building Intensity		Front/ Street Minimum Setback <sup>1</sup>	
Lot Area (minimum)	5,000 sf	<b>A:</b> To living area	15'
Site Coverage (maximum)	60%	<b>B:</b> To porch, stoop, or patio	10'
Width, Interior Lot (min)	50'	<b>C:</b> To garage door (facing primary street)	18'
Width, Knuckle or Cul-De-Sac (min)	<u>35-30'</u>	<b>D:</b> To side wall of swing garage	10'
Width, Corner Lot (min)	55'	<b>Side Setback/ Min. Building Separation <sup>1</sup></b>	
Depth (min)	100'	<b>E:</b> Interior side	5'
<b>Building Height</b>		<b>F:</b> Street side to main structure	10'
Height (maximum) <sup>2</sup>	35'	<b>G:</b> Street side to porch, stoop, or patio	<u>5-10'</u>
<b>Walls, Fences, and Hedges (max. height)</b>		<b>H:</b> Between main structures side to side	10'
On front and street side property line <sup>3</sup>	3'	<b>I:</b> Between main structures front to front	N/A
On interior and rear property line <sup>4</sup>	6'	<b>J:</b> Between main structures front to side	N/A
<b>Parking</b>		<b>K:</b> Between main structures rear to rear	N/A
Spaces required per unit <sup>5</sup>	2	<b>L:</b> Garage door to garage door	N/A
		<b>Rear Setback <sup>1</sup></b>	
		<b>M:</b> Main structure	15'
		<b>N:</b> Garage (single-story plate line)	10'
		Patio cover or second story deck	5'



## Footnotes for Front Loaded Villa Homes (50'x100')

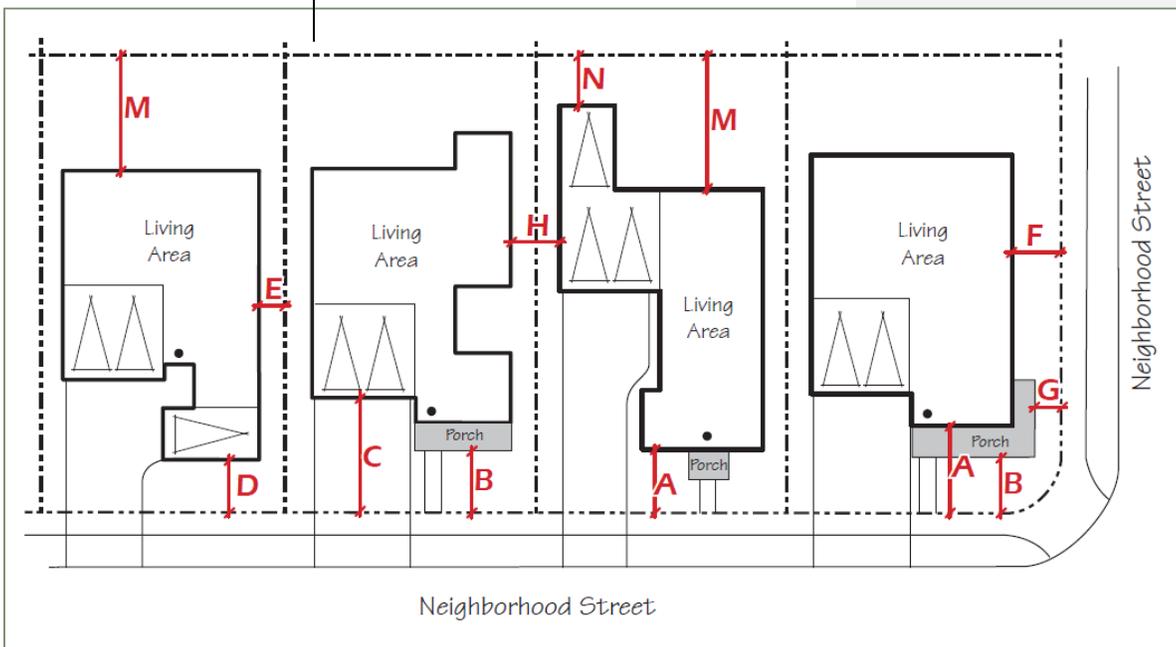
- 1 Setbacks measured from property line. Architectural projections may extend a maximum of 3 feet into a front, side, or rear setback area, however, in no case shall such projection be closer than 3 feet to any property line. Architectural projections are defined as elements that articulate a building elevation such as eaves, window and door pop-out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies and entry gates, and other similar elements. Not applicable to paseo or court-fronting units. Refer to minimum building separation requirements. [The width of lots fronting on a curved street or on the curved portion of a cul-de-sac or elbow may be measured along an arc located within the front fifty \(50\) feet of the lot.](#)
- 2 Architectural projections such as chimneys, cupolas, and similar features may exceed the maximum height limit by 10'.
- 3 Solid masonry walls or wood fencing materials may be permitted 3' from the back of sidewalk up to a height of 3'. Fences, walls, hedges or similar view-obstructing structures or plants that reduce safe ingress or egress of vehicles or pedestrians shall not exceed 3' in height in any required front yard area.
- 4 Walls may exceed 6' in height for noise attenuation purposes subject to a City approved Acoustical Study, and may have a maximum height of 9' if a combination wall/fence/hedge and retaining wall is necessary.
- 5 All parking spaces shall be enclosed within garage with a minimum 20'x20' clear dimension for two spaces and 10'x20' for single and tandem spaces. Parking spaces shall be clear of solid waste receptacles or other utilities such as garbage totes, recycling bins, gas meters, water heaters, or other items that might be permanently stored in a garage. Tandem parking is permitted provided that both spaces are assigned to the same unit.

# VILLAGE 7

General Development Plan

**Table 4-6.1: Front Loaded Villa Homes (50'x90')**

Lot Size and Building Intensity		Front/ Street Minimum Setback <sup>1</sup>	
Lot Area (minimum)	4,500 sf	<b>A:</b> To living area	15'
Site Coverage (maximum)	60%	<b>B:</b> To porch, stoop, or patio	10'
Width, Interior Lot (min)	50'	<b>C:</b> To garage door (facing primary street)	18'
Width, Knuckle or Cul-De-Sac (min)	30'	<b>D:</b> To side wall of swing garage	10'
Width, Corner Lot (min)	55'	Side Setback/ Min. Building Separation <sup>1</sup>	
Depth (min)	90'	<b>E:</b> Interior side	5'
Building Height		<b>F:</b> Street side to main structure	10'
Height (maximum) <sup>2</sup>	35'	<b>G:</b> Street side to porch, stoop, or patio	10'
		<b>H:</b> Between main structures side to side	10'
		<b>I:</b> Between main structures front to front	N/A
Walls, Fences, and Hedges (max. height)		<b>J:</b> Between main structures front to side	N/A
On front and street side property line <sup>3</sup>	3'	<b>K:</b> Between main structures rear to rear	N/A
On interior and rear property line <sup>4</sup>	6'	<b>L:</b> Garage door to garage door	N/A
Parking		Rear Setback <sup>1</sup>	
Spaces required per unit <sup>5</sup>	2	<b>M:</b> Main structure	10'
		<b>N:</b> Garage (single-story plate line)	10'
		<u>Patio cover or second story deck</u>	5'



## **Footnotes for Front Loaded Villa Homes (50'x90')**

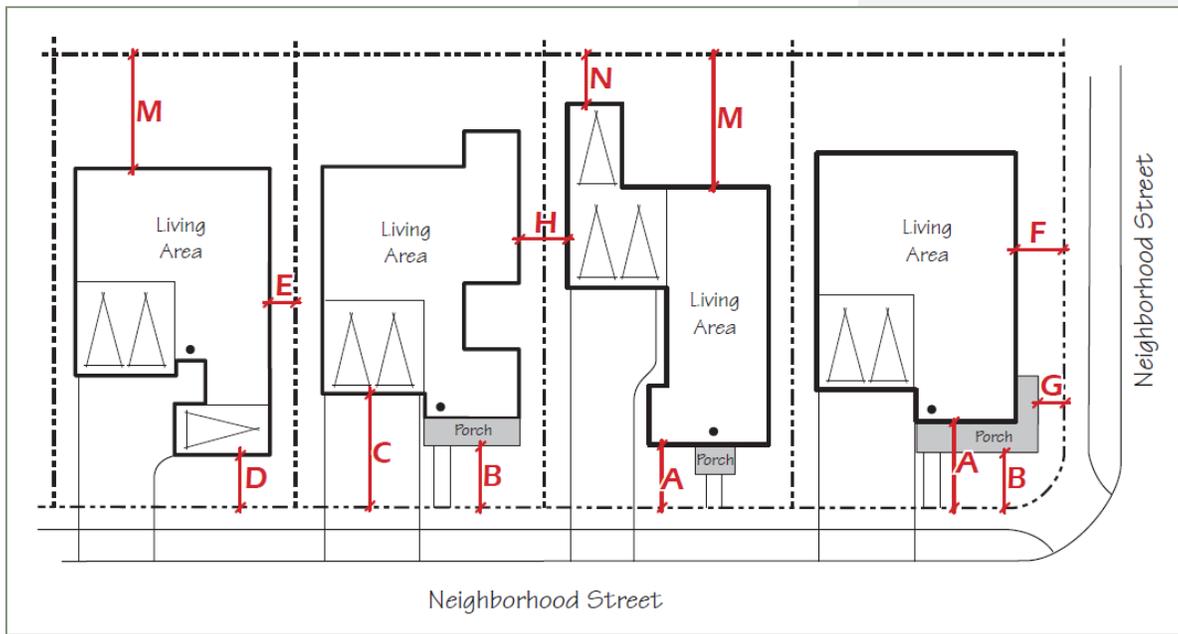
- 1 Setbacks measured from property line. Architectural projections may extend a maximum of 3 feet into a front, side, or rear setback area, however, in no case shall such projection be closer than 3 feet to any property line. Architectural projections are defined as elements that articulate a building elevation such as eaves, window and door pop-out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies and entry gates, and other similar elements. Not applicable to paseo or court-fronting units. Refer to minimum building separation requirements. The width of lots fronting on a curved street or on the curved portion of a cul-de-sac or elbow may be measured along an arc located within the front fifty (50) feet of the lot.
- 2 Architectural projections such as chimneys, cupolas, and similar features may exceed the maximum height limit by 10'.
- 3 Solid masonry walls or wood fencing materials may be permitted 3' from the back of sidewalk up to a height of 3'. Fences, walls, hedges or similar view-obstructing structures or plants that reduce safe ingress or egress of vehicles or pedestrians shall not exceed 3' in height in any required front yard area.
- 4 Walls may exceed 6' in height for noise attenuation purposes subject to a City approved Acoustical Study, and may have a maximum height of 9' if a combination wall/fence/hedge and retaining wall is necessary.
- 5 All parking spaces shall be enclosed within garage with a minimum 20'x20' clear dimension for two spaces and 10'x20' for single and tandem spaces. Parking spaces shall be clear of solid waste receptacles or other utilities such as garbage totes, recycling bins, gas meters, water heaters, or other items that might be permanently stored in a garage. Tandem parking is permitted provided that both spaces are assigned to the same unit.

# VILLAGE 7

## General Development Plan

**Table 4-7: Front Loaded Villa Homes (50'x80')**

Lot Size and Building Intensity		Front/ Street Minimum Setback <sup>1</sup>	
Lot Area (minimum)	4,000 sf	<b>A:</b> To living area	4'-15'
Site Coverage (maximum)	60%	<b>B:</b> To porch, stoop, or patio	5'-10'
Width, Interior Lot (min)	50'	<b>C:</b> To garage door (facing primary street)	18'
Width, Knuckle or Cul-De-Sac (min)	35'-30'	<b>D:</b> To side wall of swing garage	10'
Width, Corner Lot (min)	55'	<b>Side Setback/ Min. Building Separation <sup>1</sup></b>	
Depth (min)	80'	<b>E:</b> Interior side	5'
<b>Building Height</b>		<b>F:</b> Street side	10'
Height (maximum) <sup>2</sup>	35'	<b>G:</b> Street side to porch, stoop, or patio	5'-10'
<b>Walls, Fences, and Hedges (max. height)</b>		<b>H:</b> Between main structures side to side	10'
On front and street side property line <sup>3</sup>	3'	<b>I:</b> Between main structures front to front	N/A
On interior and rear property line <sup>4</sup>	6'	<b>J:</b> Between main structures front to side	N/A
<b>Parking</b>		<b>K:</b> Between main structures rear to rear	N/A
Spaces required per unit <sup>5</sup>	2	<b>L:</b> Garage door to garage door	N/A
		<b>Rear Setback <sup>1</sup></b>	
		<b>M:</b> Main structure	4'-5'-10'
		<b>N:</b> Garage (single-story plate line)	10'
		Patio cover or second story deck	5'



**Footnotes for  
Front Loaded Villa Homes (50'x80')**

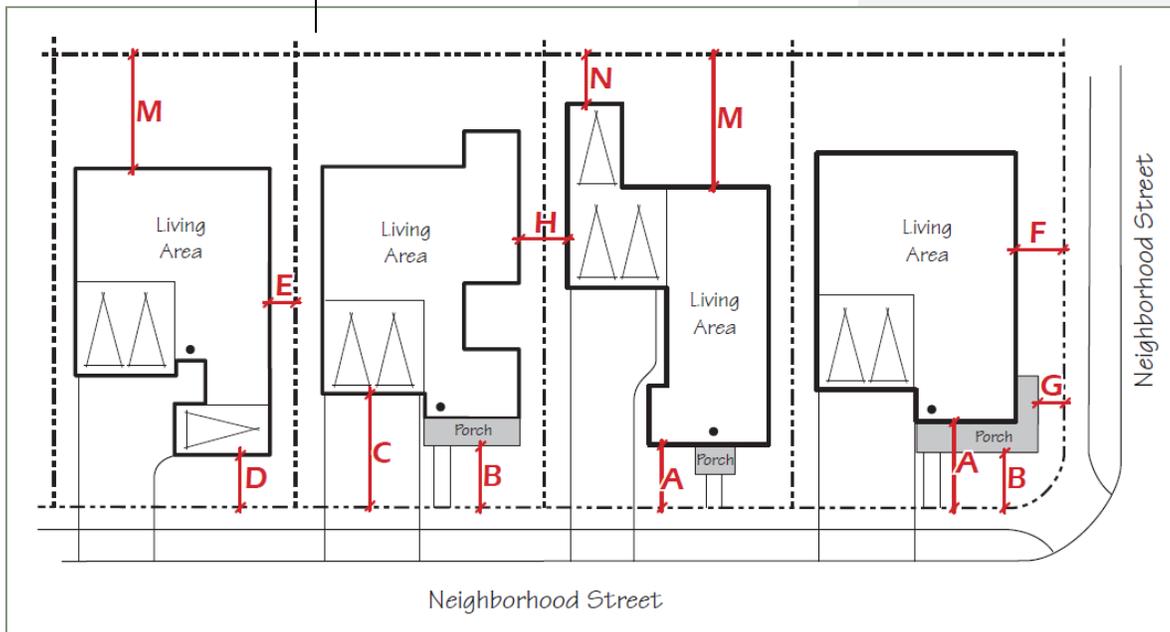
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- 2 Architectural projections such as chimneys, cupolas, and similar features may exceed the maximum height limit by 10'.
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# VILLAGE 7

## General Development Plan

**Table 4-7.1: Front Loaded Villa Homes (55'x80')**

Lot Size and Building Intensity		Front/ Street Minimum Setback <sup>1</sup>	
Lot Area (minimum)	4,400 sf	<b>A:</b> To living area	15'
Site Coverage (maximum)	60%	<b>B:</b> To porch, stoop, or patio	10'
Width, Interior Lot (min)	55'	<b>C:</b> To garage door (facing primary street)	18'
Width, Knuckle or Cul-De-Sac (min)	30'	<b>D:</b> To side wall of swing garage	10'
Width, Corner Lot (min)	60'	Side Setback/ Min. Building Separation <sup>1</sup>	
Depth (min)	80'	<b>E:</b> Interior side	5'
Building Height		<b>F:</b> Street side	10'
Height (maximum) <sup>2</sup>	35'	<b>G:</b> Street side to porch, stoop, or patio	10'
Walls, Fences, and Hedges (max. height)		<b>H:</b> Between main structures side to side	10'
On front and street side property line <sup>3</sup>	3'	<b>I:</b> Between main structures front to front	N/A
On interior and rear property line <sup>4</sup>	6'	<b>J:</b> Between main structures front to side	N/A
Parking		<b>K:</b> Between main structures rear to rear	N/A
Spaces required per unit <sup>5</sup>	2	<b>L:</b> Garage door to garage door	N/A
		Rear Setback <sup>1</sup>	
		<b>M:</b> Main structure	10'
		<b>N:</b> Garage (single-story plate line)	10'
		Patio cover or second story deck	5'



## **Footnotes for Front Loaded Villa Homes (55'x80')**

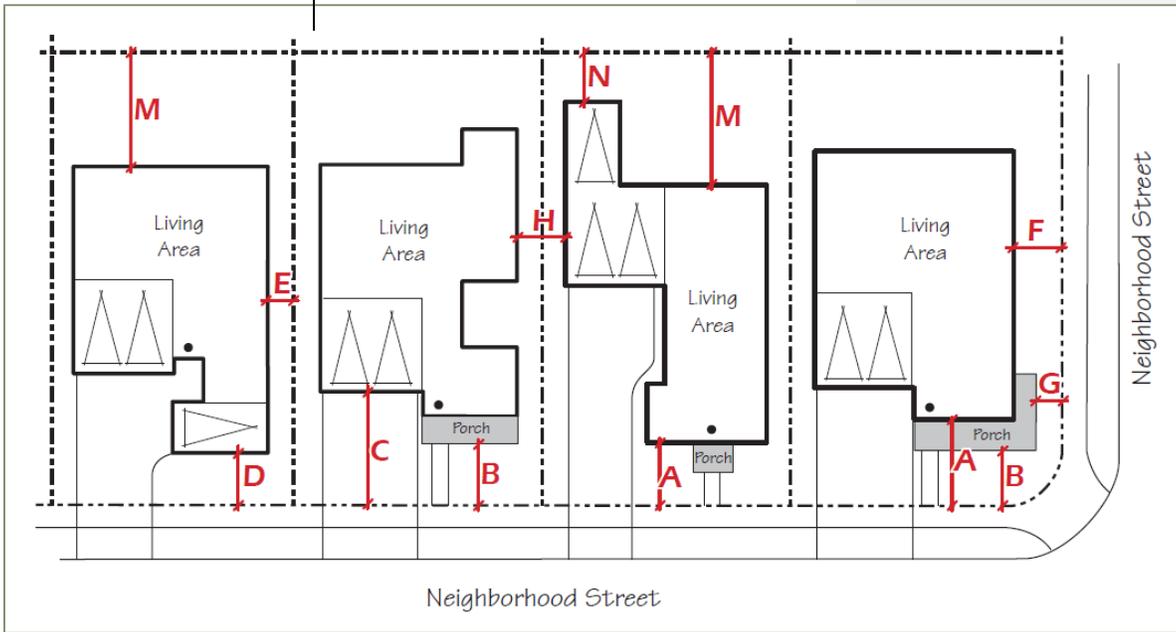
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- 2 Architectural projections such as chimneys, cupolas, and similar features may exceed the maximum height limit by 10'.
- 3 Solid masonry walls or wood fencing materials may be permitted 3' from the back of sidewalk up to a height of 3'. Fences, walls, hedges or similar view-obstructing structures or plants that reduce safe ingress or egress of vehicles or pedestrians shall not exceed 3' in height in any required front yard area.
- 4 Walls may exceed 6' in height for noise attenuation purposes subject to a City approved Acoustical Study, and may have a maximum height of 9' if a combination wall/fence/hedge and retaining wall is necessary.
- 5 All parking spaces shall be enclosed within garage with a minimum 20'x20' clear dimension for two spaces and 10'x20' for single and tandem spaces. Parking spaces shall be clear of solid waste receptacles or other utilities such as garbage totes, recycling bins, gas meters, water heaters, or other items that might be permanently stored in a garage. Tandem parking is permitted provided that both spaces are assigned to the same unit.

# VILLAGE 7

## General Development Plan

**Table 4-7.2: Front Loaded Villa Homes (45'x80')**

Lot Size and Building Intensity		Front/ Street Minimum Setback <sup>1</sup>	
Lot Area (minimum)	3,600 sf	<b>A:</b> To living area	15'
Site Coverage (maximum)	60%	<b>B:</b> To porch, stoop, or patio	10'
Width, Interior Lot (min)	45'	<b>C:</b> To garage door (facing primary street)	18'
Width, Knuckle or Cul-De-Sac (min)	20'	<b>D:</b> To side wall of swing garage	10'
Width, Corner Lot (min)	50'	Side Setback/ Min. Building Separation <sup>1</sup>	
Depth (min)	80'	<b>E:</b> Interior side	5'
Building Height		<b>F:</b> Street side	10'
Height (maximum) <sup>2</sup>	35'	<b>G:</b> Street side to porch, stoop, or patio	10'
Walls, Fences, and Hedges (max. height)		<b>H:</b> Between main structures side to side	10'
On front and street side property line <sup>3</sup>	3'	<b>I:</b> Between main structures front to front	N/A
On interior and rear property line <sup>4</sup>	6'	<b>J:</b> Between main structures front to side	N/A
Parking		<b>K:</b> Between main structures rear to rear	N/A
Spaces required per unit <sup>5</sup>	2	<b>L:</b> Garage door to garage door	N/A
		Rear Setback <sup>1</sup>	
		<b>M:</b> Main structure	10'
		<b>N:</b> Garage (single-story plate line)	10'
		Patio cover or second story deck	5'

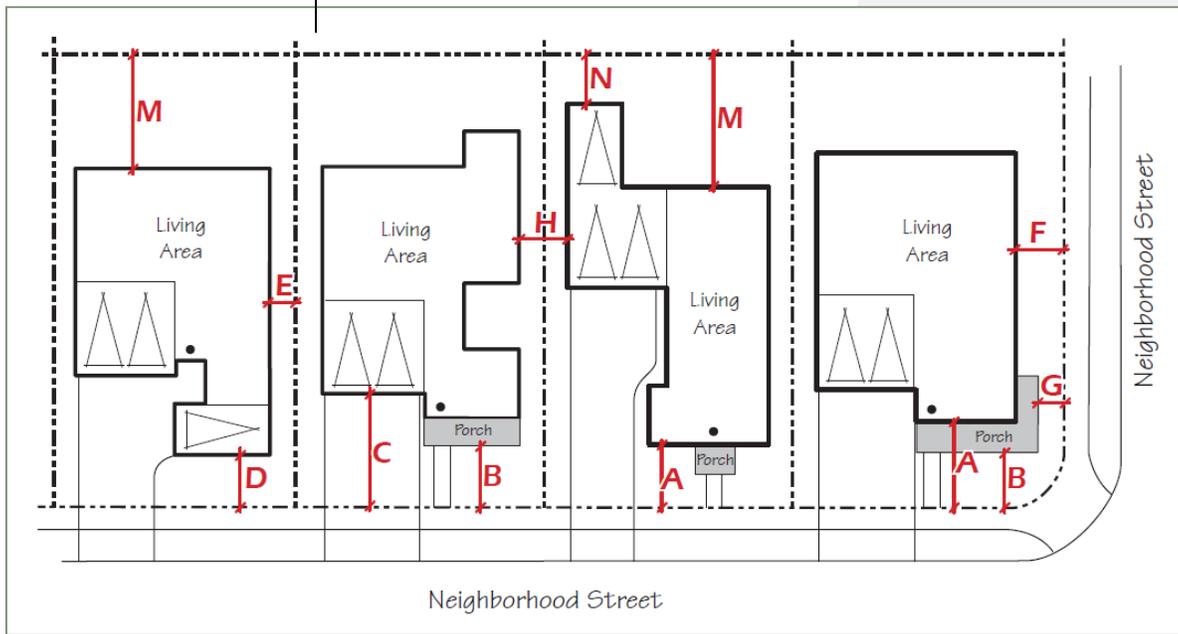


**Footnotes for  
Front Loaded Villa Homes (45'x80')**

- 1 Setbacks measured from property line. Architectural projections may extend a maximum of 3 feet into a front, side, or rear setback area, however, in no case shall such projection be closer than 3 feet to any property line. Architectural projections are defined as elements that articulate a building elevation such as eaves, window and door pop-out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies and entry gates, and other similar elements. Not applicable to paseo or court-fronting units. Refer to minimum building separation requirements. The width of lots fronting on a curved street or on the curved portion of a cul-de-sac or elbow may be measured along an arc located within the front fifty (50) feet of the lot.
- 2 Architectural projections such as chimneys, cupolas, and similar features may exceed the maximum height limit by 10'.
- 3 Solid masonry walls or wood fencing materials may be permitted 3' from the back of sidewalk up to a height of 3'. Fences, walls, hedges or similar view-obstructing structures or plants that reduce safe ingress or egress of vehicles or pedestrians shall not exceed 3' in height in any required front yard area.
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- 5 All parking spaces shall be enclosed within garage with a minimum 20'x20' clear dimension for two spaces and 10'x20' for single and tandem spaces. Parking spaces shall be clear of solid waste receptacles or other utilities such as garbage totes, recycling bins, gas meters, water heaters, or other items that might be permanently stored in a garage. Tandem parking is permitted provided that both spaces are assigned to the same unit.

**Table 4-7.3: Front Loaded Villa Homes (40'x90')**

Lot Size and Building Intensity		Front/ Street Minimum Setback <sup>1</sup>	
Lot Area (minimum)	3,600 sf	<b>A:</b> To living area	15'
Site Coverage (maximum)	60%	<b>B:</b> To porch, stoop, or patio	10'
Width, Interior Lot (min)	40'	<b>C:</b> To garage door (facing primary street)	18'
Width, Knuckle or Cul-De-Sac (min)	20'	<b>D:</b> To side wall of swing garage	10'
Width, Corner Lot (min)	45'	Side Setback/ Min. Building Separation <sup>1</sup>	
Depth (min)	90'	<b>E:</b> Interior side	3.5'
Building Height		<b>F:</b> Street side	10'
Height (maximum) <sup>2</sup>	35'	<b>G:</b> Street side to porch, stoop, or patio	10'
Walls, Fences, and Hedges (max. height)		<b>H:</b> Between main structures side to side	7'
On front and street side property line <sup>3</sup>	3'	<b>I:</b> Between main structures front to front	N/A
On interior and rear property line <sup>4</sup>	6'	<b>J:</b> Between main structures front to side	N/A
Parking		<b>K:</b> Between main structures rear to rear	N/A
Spaces required per unit <sup>5</sup>	2	<b>L:</b> Garage door to garage door	N/A
		Rear Setback <sup>1</sup>	
		<b>M:</b> Main structure	10'
		<b>N:</b> Garage (single-story plate line)	10'
		Patio cover or second story deck	5'

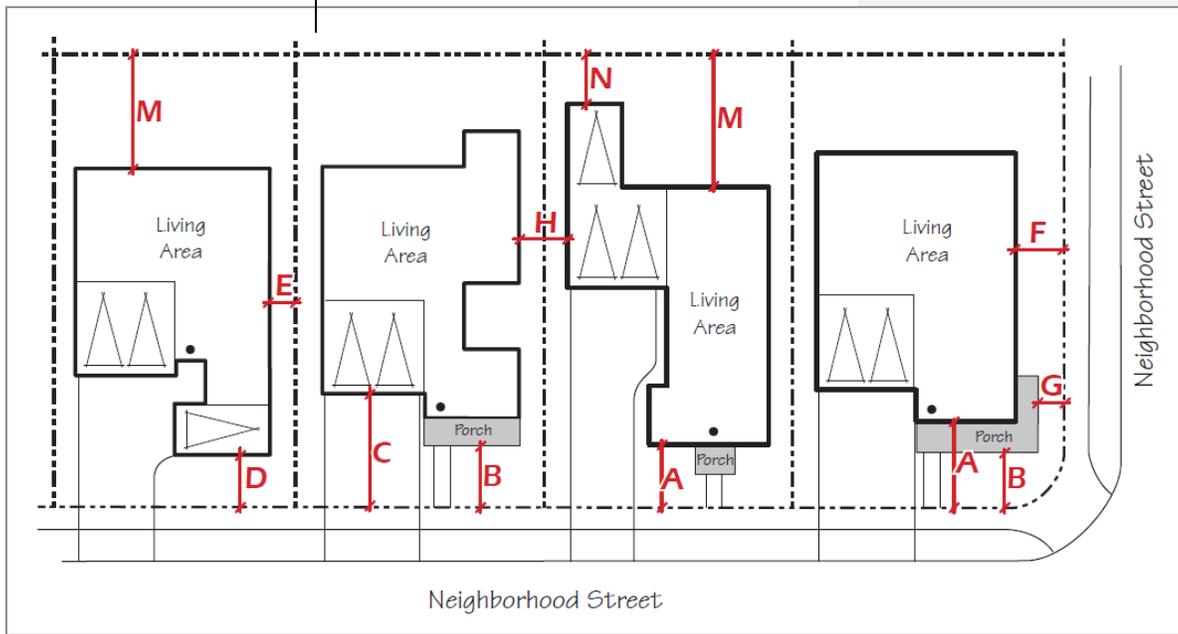


**Footnotes for  
Front Loaded Villa Homes (40'x90')**

- 1 Setbacks measured from property line. Architectural projections may extend a maximum of 3 feet into a front, side, or rear setback area, however, in no case shall such projection be closer than 3 feet to any property line. Architectural projections are defined as elements that articulate a building elevation such as eaves, window and door pop-out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies and entry gates, and other similar elements. Not applicable to paseo or court-fronting units. Refer to minimum building separation requirements. The width of lots fronting on a curved street or on the curved portion of a cul-de-sac or elbow may be measured along an arc located within the front fifty (50) feet of the lot.
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**Table 4-7.4: Front Loaded Villa Homes (45'x67')**

Lot Size and Building Intensity		Front/ Street Minimum Setback <sup>1</sup>	
Lot Area (minimum)	3,375 sf	<b>A:</b> To living area	15'
Site Coverage (maximum)	60%	<b>B:</b> To porch, stoop, or patio	10'
Width, Interior Lot (min)	45'	<b>C:</b> To garage door (facing primary street)	18'
Width, Knuckle or Cul-De-Sac (min)	20'	<b>D:</b> To side wall of swing garage	10'
Width, Corner Lot (min)	50'	Side Setback/ Min. Building Separation <sup>1</sup>	
Depth (min)	67'	<b>E:</b> Interior side	5'
Building Height		<b>F:</b> Street side	10'
Height (maximum) <sup>2</sup>	35'	<b>G:</b> Street side to porch, stoop, or patio	10'
Walls, Fences, and Hedges (max. height)		<b>H:</b> Between main structures side to side	10'
On front and street side property line <sup>3</sup>	3'	<b>I:</b> Between main structures front to front	N/A
On interior and rear property line <sup>4</sup>	6'	<b>J:</b> Between main structures front to side	N/A
Parking		<b>K:</b> Between main structures rear to rear	N/A
Spaces required per unit <sup>5</sup>	2	<b>L:</b> Garage door to garage door	N/A
		Rear Setback <sup>1</sup>	
		<b>M:</b> Main structure	10'
		<b>N:</b> Garage (single-story plate line)	10'
		Patio cover or second story deck	5'



## Footnotes for Front Loaded Villa Homes (45'x67')

- 1 Setbacks measured from property line. Architectural projections may extend a maximum of 3 feet into a front, side, or rear setback area, however, in no case shall such projection be closer than 3 feet to any property line. Architectural projections are defined as elements that articulate a building elevation such as eaves, window and door pop-out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies and entry gates, and other similar elements. Not applicable to paseo or court-fronting units. Refer to minimum building separation requirements. The width of lots fronting on a curved street or on the curved portion of a cul-de-sac or elbow may be measured along an arc located within the front fifty (50) feet of the lot.
- 2 Architectural projections such as chimneys, cupolas, and similar features may exceed the maximum height limit by 10'.
- 3 Solid masonry walls or wood fencing materials may be permitted 3' from the back of sidewalk up to a height of 3'. Fences, walls, hedges or similar view-obstructing structures or plants that reduce safe ingress or egress of vehicles or pedestrians shall not exceed 3' in height in any required front yard area.
- 4 Walls may exceed 6' in height for noise attenuation purposes subject to a City approved Acoustical Study, and may have a maximum height of 9' if a combination wall/fence/hedge and retaining wall is necessary.
- 5 All parking spaces shall be enclosed within garage with a minimum 20'x20' clear dimension for two spaces and 10'x20' for single and tandem spaces. Parking spaces shall be clear of solid waste receptacles or other utilities such as garbage totes, recycling bins, gas meters, water heaters, or other items that might be permanently stored in a garage. Tandem parking is permitted provided that both spaces are assigned to the same unit.