

ORDINANCE 1050B

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LINCOLN APPROVING THE AMENDMENT TO THE GENERAL DEVELOPMENT PLAN AND ZONING REGULATIONS FOR TWELVE BRIDGES PLAN AREA A

Recitals

WHEREAS, the City of Lincoln adopted Ordinance No. 649B on January 27, 1998 approving the General Development Plan and Zoning Regulations for Twelve Bridges Plan Area A (“GDP”); and

WHEREAS, Title 18, Chapter 18.32 of the Lincoln Municipal Code provides for the review and amendment of General Development Plans; and

WHEREAS, the City of Lincoln has received a request to amend the General Development Plan and Zoning Regulations for Twelve Bridges Plan Area A in conjunction with other entitlements requested for the Twelve Bridges Apartments Project (“Project”); and

WHEREAS, the City of Lincoln City Council adopted Resolution No. 98-3, on January 13, 1998, making findings concerning mitigation measures and alternatives, making a statement of overriding considerations, adopting a Mitigation Monitoring and Reporting Program, and certifying the Twelve Bridges Plan Area Final Environmental Impact Report (“Final EIR”) SCH No. 97022074 pursuant to the California Environmental Quality Act (“CEQA”); and

WHEREAS, notices describing the proposed Project and the time and place of the City Council hearing, including a general explanation of the matter to be considered was published in a newspaper of local circulation and sent to neighboring property owners pursuant to Section 18.92 of the Lincoln Municipal Code; and

WHEREAS, the City, as Lead Agency, has determined in accordance with Government Code Section 65457 (a) and CEQA Guidelines Section 15182 (Projects Pursuant to a Specific Plan) any residential project meeting the development density or undertaken pursuant to and in conformity with a specific plan (e.g., Twelve Bridges Specific Plan) adopted pursuant to Title 17, Division 1, Chapter 3, Article 8 of the Government Code is exempt from further environmental review. The proposed Twelve Bridges Apartments Project is in conformance with the previously certified Final EIR and Subsequent Environmental Impact Report (SEIR) State Clearing House (SCH# 97022074) for the Revised Twelve Bridges Specific Plan in respect to residential development (e.g., density, development standards, etc.); and

WHEREAS, the Developer seeks to modify the General Development Plan and Zoning Regulations for Twelve Bridges Plan Area A off-street parking requirements for high-density residential (referred to as “Twelve Bridges Apartments Project”) to reduce the minimum parking requirement from 2.0 vehicle parking spaces per unit plus 1.0 guest vehicle parking space per five units to 1.5 vehicle parking spaces per one-bedroom unit, 2.0 vehicle parking spaces per two- or more bedroom unit plus 1.0 guest vehicle parking space per every 10 units, and 1.0 covered vehicle parking space per unit; and

WHEREAS, the proposed Project retains the features for high density residential identified in the General Development Plan and Zoning Regulations for Twelve Bridges Plan Area A; and

WHEREAS, the General Development Plan and Zoning Regulations for Twelve Bridges Plan Area A as amended by the proposed Project is consistent with the 2050 General Plan; and

WHEREAS, on July 20, 2022 the Planning Commission of the City of Lincoln did hold a duly noticed public hearing and following discussion and public testimony recommended the City Council approve the proposed General Development Plan and Zoning Regulations for Twelve Bridges Plan Area A amendments; and

WHEREAS, the City Council has reviewed proposed amendments to the General Development Plan and Zoning Regulations for Twelve Bridges Plan Area A (described in the attached Exhibit 4.1.A) and has conducted a duly noticed public hearing.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF LINCOLN DOES HEREBY APPROVE THE AMENDMENT TO THE GENERAL DEVELOPMENT PLAN AND ZONING REGULATIONS FOR TWELVE BRIDGES PLAN AREA A FOR VILLAGE 27C AS FOLLOWS:

Section 1. The foregoing recitals are true and correct, and are hereby incorporated by reference.

Section 2. This Ordinance incorporates, and by this reference makes a part hereof, previously approved conditions of approval and mitigation measures associated with the previously approved General Development Plan and Zoning Regulations for Twelve Bridges Plan Area A, and affirms the applicability of such conditions of approval and mitigation measures to the amended General Development Plan and Zoning Regulations for Twelve Bridges Plan Area A.

Section 3. Approval. Based on the findings set forth in this ordinance, and the evidence in the Staff Report and accompanying documents, Planning Commission recommendations, and public testimony, the City Council does hereby amend the General Development Plan and Zoning Regulations for Twelve Bridges Plan Area A as described in the attached Exhibit 4.1.A.

Section 4. CEQA. In accordance with CEQA Guidelines Section 15182 (Projects Pursuant to a Specific Plan), the City determined the proposed Twelve Bridges Apartments Project is in conformance with the previously certified Final EIR and Subsequent Environmental Impact Report (SEIR) State Clearing House (SCH# 97022074) for the Revised Twelve Bridges Specific Plan in respect to residential development (e.g., density, development standards, etc.).

Section 5. Severability. If any section, subsection, paragraph, sentence, clause or phrase of this ordinance for any reason shall be held to be invalid or unconstitutional, the decision shall not affect the remaining portions of this ordinance. The City Council of the City hereby declares that it would have passed this ordinance and each article, section, subsection, paragraph, sentence, clause or phrase which is a part thereof, irrespective of the fact that any one or more articles, sections, subsections, paragraphs, sentences, clauses or phrases are declared to be invalid or unconstitutional.

Section 6. Effective Date and Publication. This ordinance shall take effect thirty (30) days after the adoption, and shall be published once within fifteen (15) days of its passage in the *Lincoln News Messenger*, a newspaper of general circulation, published and circulated in the City of Lincoln, County of Placer and thenceforth and thereafter shall be in full force and effect.

INTRODUCED at a regular meeting of the City Council of the City of Lincoln held on August 9, 2022.

PASSED AND ADOPTED this 23rd day of August, 2022, by the following roll call vote:

AYES: COUNCILMEMBERS: Joiner, Karleskint, Lauritsen, Silhi, Andreatta

NOES: COUNCILMEMBERS:

ABSENT: COUNCILMEMBERS:



Holly Andreatta, Mayor

ATTEST:



Gwen Scanlon, City Clerk



General Development Plan
And
Zoning Regulations
For
Twelve Bridges
Plan Area A

~~December, 2012~~

~~September, 2020~~

May, 2022

General Development Plan
And
Zoning Regulations
For
Twelve Bridges
Plan Area A

Prepared by:

RRM Design Group
131 South Second Avenue
Oakdale, CA 95361
209/847-1794

Prepared for:

Placer Holdings, Inc.

Adopted by:

The City of Lincoln, California
January 13, 1998

Twelve Bridges
PLAN AREA A

GENERAL DEVELOPMENT PLAN

Status Chart

Twelve Bridges General Development Plan

Date of Adoption:

January 13, 1998

Plan Version:

Final

Plan Amendments:

	Date Adopted	Resolution #	Ordinance #
Amendment No. 1	1-23-2001	2001-08	649-B
Amendment No.2	7-8-2003	2003-131	737-B
Amendment No.3	7-13-2004	2004-118	766-B
Amendment No.4	6-14-2005	2005-134	786-B
Amendment No.5	2-22-2011	2011-036	853-B
Amendment No.6	12-13-2012	2012-187	872-B
Amendment No.7	5-22-2018		969-B
Amendment No.8	8-28-2018		972-B
Amendment No.9	6-25-2019		993-B
Amendment No.10	#-#-2020		
Amendment No.11	#-#-2020		
Amendment No.12	#-#-2022		

**Final Environmental Impact Report
Clearinghouse Number:**

SCH NO. 97022074

Certifying Resolution No. 98-3

Twelve Bridges
PLAN AREA A

GENERAL DEVELOPMENT PLAN

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Twelve Bridges
PLAN AREA A

GENERAL DEVELOPMENT PLAN

1.0 Introduction

This General Development Plan is a document required pursuant to the City of Lincoln's Planned Development Zone. It is intended to serve as an implementation tool for a portion of the Twelve Bridges Specific Plan. It basically represents the "zoning" for the affected portion of the Specific Plan. This includes development standards, design guidelines and reference to existing City requirements where applicable.

The City of Lincoln has already approved two separate General Development Plans for the original Twelve Bridges Specific Plan Area. These General Development plans covered what were previously considered the first two major phases for the Twelve Bridges Specific Plan. They included the "Main Village" General Development Plan and the "Lake Community" General Development Plan. These General Development Plans were approved by the City on October 10, 1995. This General Development Plan encompasses the entire Plan Area A as defined in the new Twelve Bridges Specific Plan which is the property controlled by Placer Holdings, Inc. This General Development Plan will supersede the previous approvals upon adoption.

This section gives an overview of the document's purpose, relationship to the Twelve Bridges Specific Plan and the project setting. Section 2.0 sets forth the "zoning" and related development standards, Section 3.0 identifies design guidelines and Section 4.0 addresses implementation issues.

1.1 Purpose and Scope

This General Development Plan (GDP) has been prepared pursuant to the Twelve Bridges Specific Plan which governs all development within the 5700 acre Specific Plan Area. The GDP establishes zoning, development standards, and design guidelines for a portion of the overall Specific Plan Area. The Twelve Bridges Specific Plan includes two District Plan Areas - Plan Area A and Plan Area B. Each Area is represented by different controlling interests. Plan Area A is controlled by Placer Holdings, Inc. and is proposed as a mixed use, non age - restricted community. Plan Area B is controlled by Del Webb California Corp. and is proposed as an age-restricted community with residential, commercial and recreational land uses. Although these two areas are unique and separate in their ownership and scope, they have been carefully integrated in the Twelve Bridges Specific Plan.

Within the Twelve Bridges Specific Plan, an area of approximately 575 acres, affecting 1,775 of the total 5,300 units in Plan Area B (Del Webb Lincoln), has been identified as the "Conventional Housing Option" area (refer to Twelve Bridges Specific Plan). In the event this Conventional Housing Option is pursued by Placer

Holdings, Inc., (or its successor) in lieu of the age-restricted housing proposed for Plan Area B, the provisions of this Area A GDP may apply.

This GDP addresses the development of Plan Area A (Twelve Bridges). Plan Area B (Del Webb Lincoln) - will be implemented under a separate General Development Plan. Where the two areas abut along Lincoln Parkway and Twelve Bridges Drive, consultation of both GDP's is advised for consistency.

Development within Twelve Bridges Plan Area A is governed by the Specific Plan, the GDP, and subsequent Specific Development Plans and Development Agreements, Tentative Subdivision Maps, Permits, and design review of individual project proposals. Processing of these applications and entitlements are to follow the City of Lincoln's processing procedures.

Individual projects are required to comply with the relevant development criteria and guidelines applicable to the proposed use and zone. It is not the intent of the GDP to restrict development opportunity, but to provide a directive and flexible framework which will aid individual developers, design review authorities, and the City of Lincoln in ensuring consistency with the Specific Plan in order to create an attractive and unified community form throughout the Plan Area.

Mitigation measures from the Twelve Bridges Specific Plan Final EIR will be incorporated where necessary and appropriate. The complete mitigation monitoring plan for the Twelve Bridges Final EIR, as it relates to this portion of the Specific Plan Area, is also incorporated herein by reference and should be reviewed in conjunction with implementation of any project under the authority of this GDP.

1.2 Plan Area

Twelve Bridges Specific Plan Area is located in the southern reaches of the City of Lincoln. The Specific Plan Area is bound on the north by Auburn Ravine and State Route 193, State Route 65 to the west, and Sierra College Boulevard to the east. Lincoln's city limits provides the southern most Specific Plan Area boundary (refer to Figure 1-1 Location Map).

With over 5,700 acres, the Twelve Bridges Specific Plan is intended to accommodate a maximum of 10,146 dwelling units in a variety of densities and types. The Plan also provides over 180 acres of commercial and business uses. The Specific Plan includes provisions for public facilities such as schools, parks and fire stations. Over 40 percent of the Specific Plan Area is devoted to parks, golf courses, open space and habitat preservation.

The Twelve Bridges Specific Plan Area is divided into two Plan sub-areas, Plan Area A (Twelve Bridges) and Plan Area B (Del Webb Lincoln). Plan Area A includes the existing Twelve Bridges Golf Course facility, and the undeveloped eastern, southern and western portions of the Specific Plan Area. The central and northern most portion of the Twelve Bridges Specific Plan Area make-up "Del Webb Lincoln". Plan Area A is proposed to be developed as a conventional residential community,

while Del Webb Lincoln will be developed as an active adult community. Separate General Development Plans have been prepared for each of these two Specific Plan Sub-Areas. (refer to Figure 1-2 Plan Area Boundaries).

1.2.1 Existing Uses and Proposed Projects Surrounding the Site

The existing uses on the site include open range cattle grazing and the recently developed Twelve Bridges golf course with club house and ancillary buildings.

Currently few developed uses exist around the project area. Areas surrounding the site are either devoted to range land or are not currently being utilized. The City of Rocklin's Sphere of Influence is located to the south and east. Placer County has jurisdiction over properties to the east and northeast.

Proposed and approved projects in the area include Lincoln Crossing to the west; Sunset Ranchos, Whitney Oaks, and Stanford Ranch to the south; and Clover Valley Lakes and the Heritage at Bickford Ranch to the east.

1.3 Community Districts

This General Development Plan addresses Plan Area A - Twelve Bridges. Through a series of interconnected community districts, Plan Area A provides a variety of housing and business opportunities. Plan Area A is composed of four community or character districts: the Main Village, The Southern Valley, The Ridge and The Oaks (refer to Figure 1-3). Each district is separated and buffered by open space, with the intent of establishing individual identity and sense of community.

1.3.1 Main Village

The Village is the primary activity center for Twelve Bridges. Shopping, employment, community facilities and residential neighborhoods are concentrated to create a lively community. The residential neighborhood's centralized location provides opportunities for residents to reach shopping and employment areas, and community facilities by walking, or bicycling, as well as by automobile.

1.3.2 The Southern Valley

Traditional neighborhood housing is the main emphasis of this area. A majority of the residential lots are planned with physical or visual access to open space, which abounds or traverses the Southern Valley area. In keeping with the traditional neighborhood emphasis, Southern Valley includes a number of public parks, and an elementary school to serve the future residents.

1.3.3 The Ridge

The Ridge community yields panoramic views of Twelve Bridges' Main Village, of Lincoln's Downtown and of the greater Sacramento Valley. Similar to the Southern Valley, traditional neighborhood housing is also the main emphasis of this

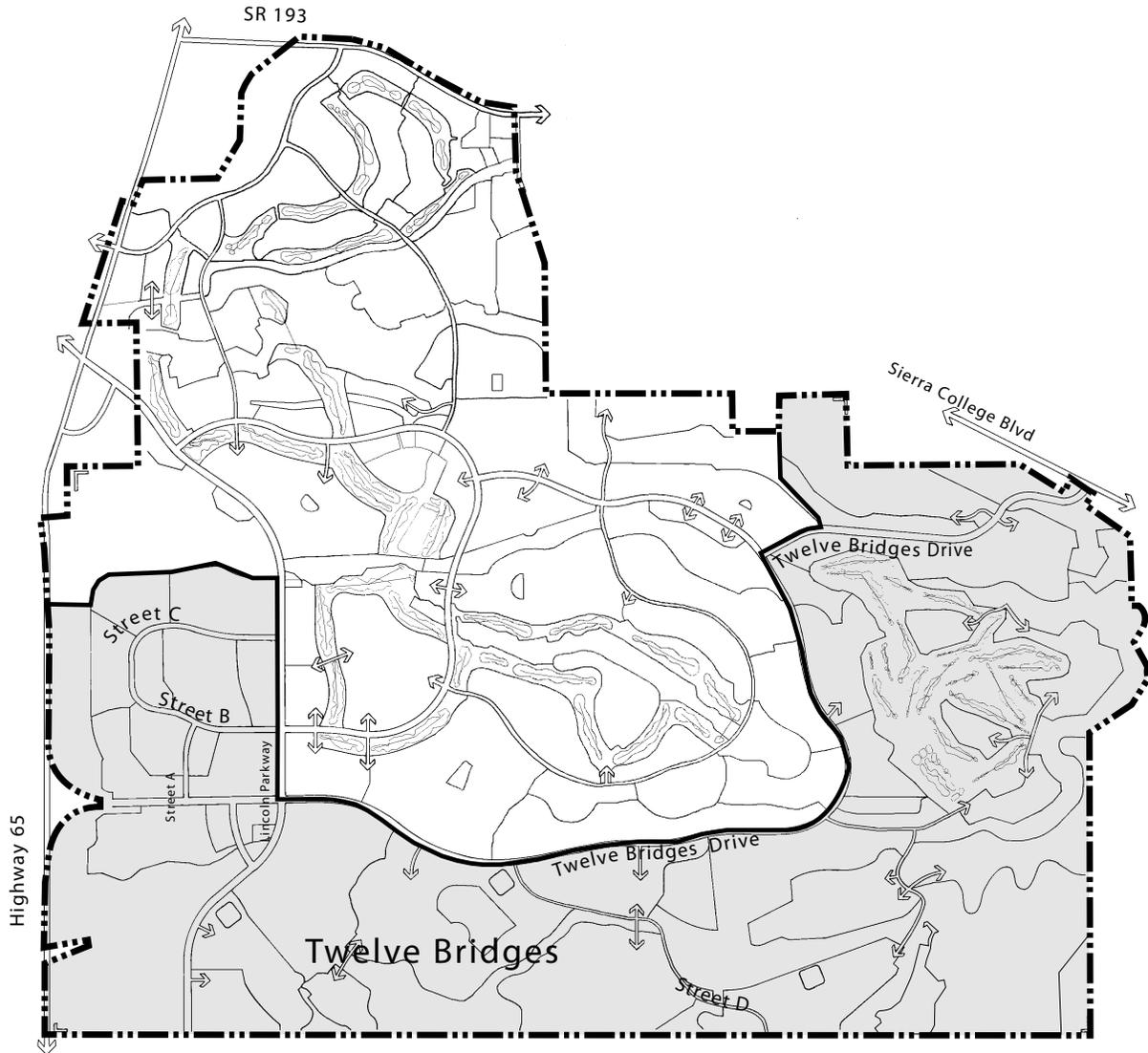
community area. The topographic character of the area distinguishes it from the Southern Valley.

If the area referred to as the Conventional Housing Option area in the Twelve Bridges Specific Plan is implemented pursuant to the provisions of this GDP, it will naturally be an extension of The Ridge Community District and will be linked by vehicular circulation, trails and open space network features.

1.3.4 The Oaks

The Twelve Bridges Golf Course, a planned “resort center” and secluded residential neighborhoods define the district’s character and activities. The Oaks is envisioned as a series of secluded neighborhoods nestled in and around the golf course. Many of the oak studded lots will provide golf course views. For others, the viewshed encompasses the greater Sacramento Valley.

The resort center is to include hotel accommodations, restaurants, conference center, and specialty shops that will cater to guests, businesses and residents of Twelve Bridges. Ancillary services such as financial institutions, professional offices and support services would also be permitted.



Legend

-  Twelve Bridges
Plan Area A: Placer Holdings, Inc.
-  Del Webb Lincoln
Plan Area B: Del Webb California Corp.
-  Specific Plan Area Boundary

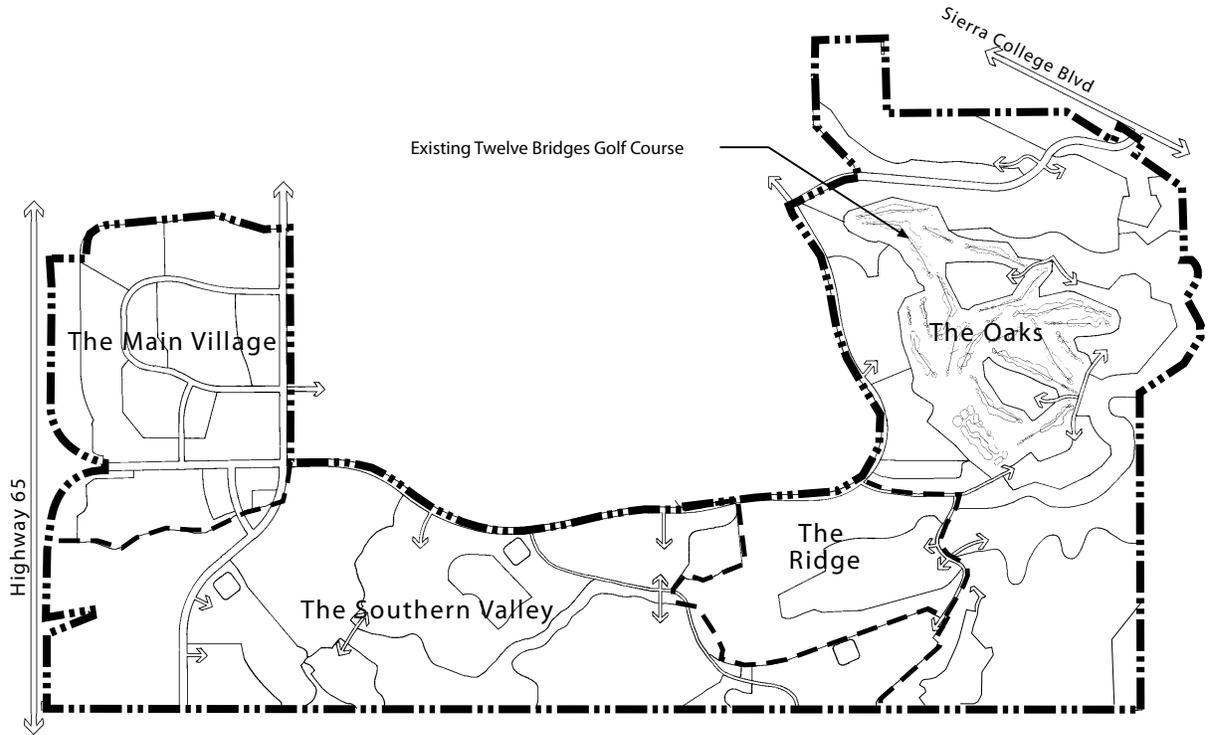
NOTE:
Plan Areas delineated are established in the Twelve Bridges Specific Plan



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Figure 1-2
GENERAL DEVELOPMENT PLAN
Boundary Diagram



Legend

-  General Development Plan Area Boundary
-  District Boundary

NOTE: For plan areas and ownership, refer to Twelve Bridges Specific Plan.



2.0 Development Standards

This chapter provides comprehensive standards and guidelines that regulate all development within Plan Area A. Responsibility for interpretation of these policies lies with the City of Lincoln Community Development Director. All projects within Plan Area A must comply with this section.

2.1 Specific Plan Consistency

2.1.1 Overview

The land use designations for Plan Area A are established by the Twelve Bridges Specific Plan. Flexibility in the land use designations is incorporated into the Twelve Bridges Specific Plan to allow for technical refinements, which may occur during the subsequent entitlement process. Figure 2-1 and Table 2-1 provide a summary of the Specific Plan Land Uses for Plan Area A.

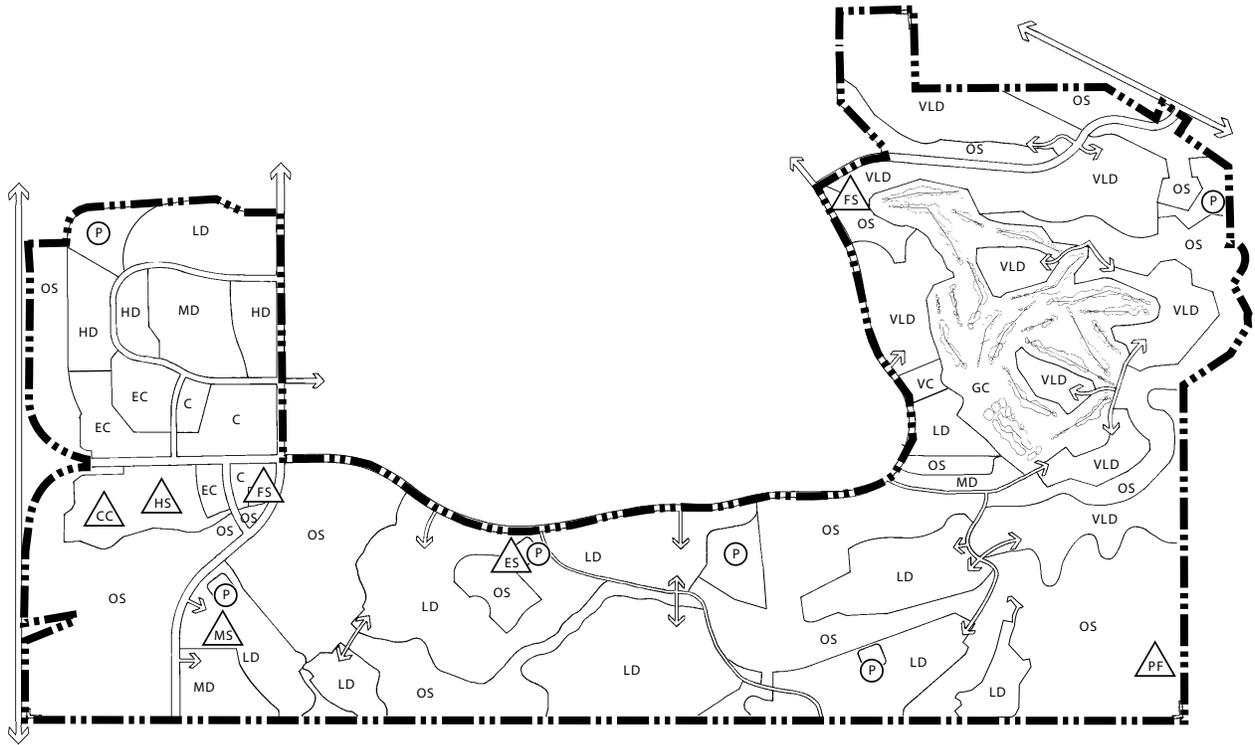
Table 2-1 Plan Area A Land Use Summary

	Land Use Designation	Density	Acreage	Dwelling Units
VLD	Very Low Density Residential	0 -2 du/ac	545.55	615
LD	Low Density Residential	2 - 5.9 du/ac	762.44	2,571
MD	Medium Density Residential	6 - 12.9 du/ac	103.50	685
HD	High Density Residential	13 - 20 du/ac	72.20	975
VC	Village Commercial		26.4	
C	General Commercial		62.97	
EC	Employment Center		52.90	
P	Parks		62.08	
OS	Open Space		1,121.74	
GC	Golf Course		240.67	
ES	Elementary Schools		20.00	
MS	Middle School		15.00	
CC	Community College/High		62.40	
FS	Fire Station		3.00	
	Infrastructure		215.65	
PF	Public Facility		20.30	
Total		1.43 du/ac	3,336.5	4,846

2.1.2 Planned Development Zone Overlay

The intent of the City’s Planned Development (PD) zoning is to encourage a more creative and flexible approach to the use of land, by redistributing overall densities and allocating common open space. Under the PD zone, various land uses such as residential, commercial, industrial, utility, institutional, educational, cultural and recreational may be combined. As an overlay zone for the Twelve Bridges Specific

GENERAL DEVELOPMENT



Legend

VLD	Very Low Density Residential 0-2 du/ac		
LD	Low Density Residential 2-5.9 du/ac		
MD	Medium Density Residential 6-12.9 du/ac		
HD	High Density Residential 13-20 du/ac		
OS	Open Space	ES	Elementary School symbol denotes floating location
GC	Golf Course	MS	Middle School
P	Park	HS	High School
P	Neighborhood Park symbol denotes floating location	CC	Community College
EC	Employment Center	FS	Fire Station symbol denotes floating location
C/VC	General Commercial/ Village Commercial	---	Plan Area Boundary



NORTH

Plan, the PD zoning regulates the approval process for development by requiring preparation of a General Development Plan. This document fulfills that requirement and is consistent with the Twelve Bridges Specific Plan. There are two existing General Development Plans adopted for the “Main Village” (GDP-I) and the “Southern Valley” (GDP II) Areas which set forth zoning for those areas of the site. The balance of the Plan Area is zoned PD. This General Development Plan, upon adoption, will supersede the previously approved General Development Plans and the P D zoning.

2.1.3 Unit Transfers

It is the intent of the Twelve Bridges Specific Plan and therefore this General Development Plan to permit flexibility in adjusting the unit mix to reflect market demand. Transfers of residential units are permitted within and between phases of the Plan Area as long as the overall number of units does not exceed the total project entitlement of 4,775 dwelling units. Additionally, the area density resulting from unit transfers shall not exceed the maximum allowable density for each residential land use area as specified by the Specific Plan/General Development Plan land use designations. The number of units in each project phase, as defined in this General Development Plan, may be increased administratively a maximum of 10%. Unit transfers resulting in increases in excess of 10% per phase are permitted with the discretionary approval of the Community Development Director. There is no limit on the amount of total unit decrease allowed in any residential area or phase. Unit transfers must be identified as part of a final subdivision map application and are subject to the approval of the Community Development Director. The request for unit transfer must identify the total number of units being adjusted, including a unit summary of the entire Planning Area identifying original and proposed unit allocations. Unit transfers must not result in impacts beyond those identified in the Twelve Bridges Subsequent Environmental Impact Report.

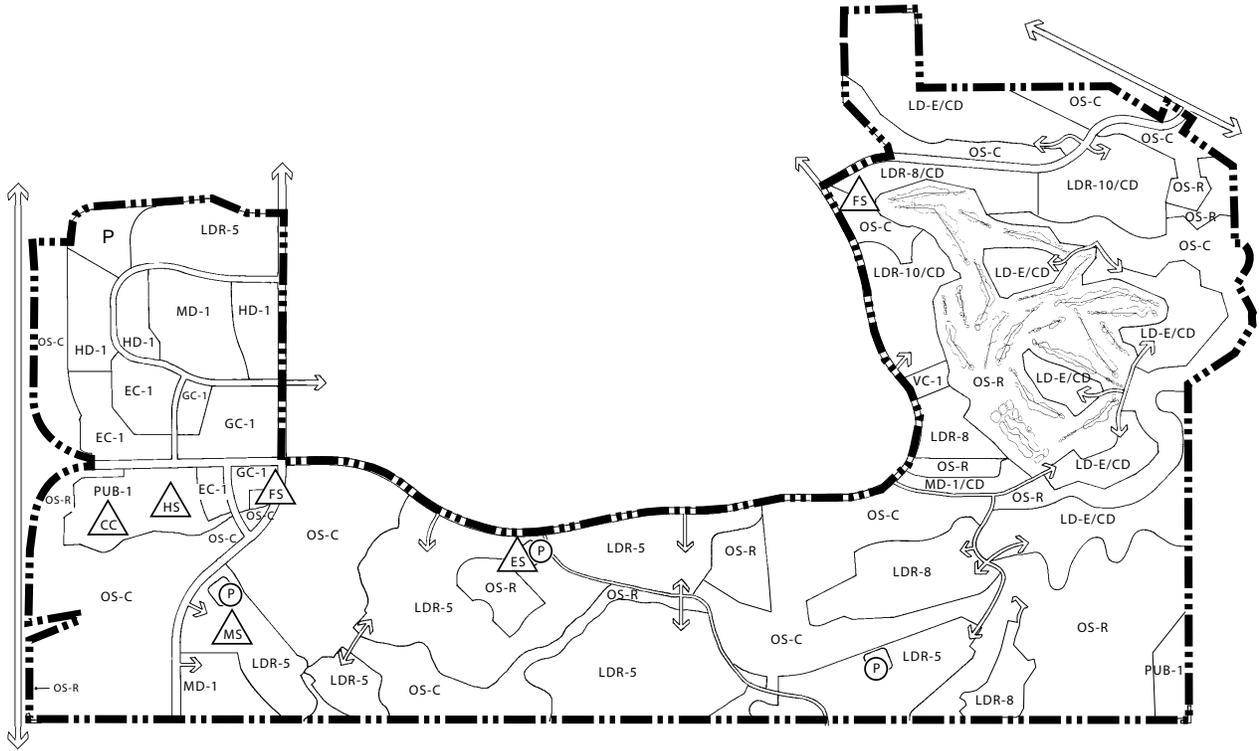
2.2 Zoning Districts

A primary function of the General Development Plan is to establish the development standards by which development within the Plan Area will be regulated. To accomplish this, specific zoning districts, shown in Table 2-2, and Figure 2-2 have been incorporated into the General Development Plan for Plan Area A and will apply only to those properties within the General Development Boundaries. While these zoning districts are unique to this General Development Plan, they are consistent with the City's General Plan, the Twelve Bridges Specific Plan and Title 18 zoning standards of the City's Municipal Code. These zoning districts are more specific and may contain more restrictive development standards (see Section 2-3).

Table 2-2 Plan Area A Zoning Districts

City	GDP	
Zoning District	Zoning District	District Description
R-1	LD-E	Estate Residential - 20,000 sq. ft. lot min.
R-1	LDR-10	Single Family Residential - 10,000 sq. ft. lot min.
R-1	LDR-8	Single Family Residential - 8000 sq. ft. lot min.
R-1	LDR-5	Single Family Residential - 5000 sq. ft. lot min.
R-2	MD-1	Medium Density Residential
R-3	HD-1	High Density Residential
	/ CD	Cluster Development Overlay*
C/BP	VC-1	Village Commercial
C/BP/R-3	RC-1	Resort Commercial
C	GC-1	General Commercial
B-P/HC	EC-1	Employment Center
O-S	OS-R	Open Space-Recreation
O-S	OS-C	Open Space-Conservation
O-S	PUB-1	Public Facilities

*Overlay zone for The Oaks only



Legend

LD-E	Low Density Estate	/CD	Cluster Development Overlay	ES	Elementary School Floating Site
LDR-10	Single Family Residential 10,000 sq. ft. lot min.	GC-1	General Commercial	MS	Middle School
LDR-8	Single Family Residential 8,000 sq. ft. lot min.	VC-1	Village Commercial	HS	High School
LDR-5	Single Family Residential 5,000 sq. ft. lot min.	EC-1	Employment Center	FS	Fire Station Floating Site
MD-1	Medium Density Residential	OS-R/ OS-C	Open Space - Recreational/ Open Space - Conservation	P	Neighborhood Parks Floating Site
HD-1	High Density Residential	PUB-1	Public Facilities		
					Plan Area Boundary



Figure 2-2
GENERAL DEVELOPMENT PLAN
Zoning Diagram

The zoning districts depicted in Figure 2-2 are consistent with the land uses adopted with the Twelve Bridges Specific Plan. Table 2-3 identifies the permitted zoning districts for each land use designation within Plan Area A. While each of these districts are unique to the Twelve Bridges project and set forth specific standards for development within each district, these standards are intended to work in conjunction with Title 18 of the City of Lincoln’s Municipal Code (Zoning Standards). Where appropriate, reference to Title 18 is provided in the Development Standards section.

Table 2-3 Zoning Consistency

Land Use Designations	Density Range	Typical Zone	Overlay Zone
Very Low Density Residential	0 - 2 du/ac	LD-E	/CD
Low Density Residential	2 - 5.9 du/ac	LDR-5, LDR-8, LDR-10	/CD
Medium Density Residential	6 – 12.9 du/ac	MD-1	/CD
High Density Residential	13 - 20 du/ac	HD-1	
General Commercial		GC-1	
Employment Center		EC-1	
Village Commercial		VC-1, RC-1	
Open Space		OS-R, OS-C, PUB-1	
Golf Course		OS-R	

2.2.1 Residential Districts

Estate Residential - 20,000 sq. ft. lot (LD-E)

Rural residential areas are used exclusively on steeper terrain, hillside areas and areas adjacent to Twelve Bridges Golf Course and/or sensitive biotic habitat with a density of up to 2 dwelling units per acre. The District accommodates single family housing on lots of 20,000 square feet or greater.

Single Family Residential - 10,000 sq. ft. Lot (LDR-10)

The LDR-10 District accommodates single family production housing on lots of 10,000 square feet or greater. Fully detached single family houses are permitted in this zone as well as schools, parks, and other public facilities that are compatible with the nature and character of the neighborhood environment.

Single Family Residential - 8000 sq. ft. Lot (LDR-8)

The LDR-8 District accommodates single family housing on lots of 8,000 square feet or greater. Fully detached single family houses are permitted in this zone as well as schools, parks and other public facilities that are compatible with the nature and character of the neighborhood environment.

Single Family Residential - 5000 sq. ft. Lot (LDR-5)

The LDR-5 District accommodates single family production housing on lots of 5,000 square feet or greater. Fully detached single family houses are permitted in this zone as well as schools, parks and other public facilities that are compatible with the nature and character of the neighborhood environment.

Medium Density Residential (MD-1)

The MD-1 District accommodates both single family detached and multi-family development projects. Combinations of attached and detached residential housing products are permitted. Creative site planning, unit clustering and design innovation is encouraged within this District. Cluster homes may take the form of townhomes, zero-lot-line homes or other attached small lot home variety. Cluster housing products overlooking the Twelve Bridges Golf Course are to be blended into its surroundings as to not detract the viewshed from the Twelve Bridges Golf Course. Schools, parks, and other public facilities that are compatible with the nature and character of the neighborhood environment are permitted in this zone.

High Density Residential (HD-1)

The HD-1 District accommodates a variety of residential densities, configurations and product types. Permitted residential uses under this zoning district range from small lot detached single family housing to attached residential housing. Schools, parks, and other public facilities that are compatible with the nature and character of the neighborhood environment are permitted in this zone.

Cluster Development (/CD)

The CD Overlay Zone has been created to allow design flexibility when dealing with significant natural landforms and/or natural resources. This overlay applies to residential development within the Oaks Community District only. The purpose for the zone overlay is to allow a development project to utilize a clustered concept, when the clustering of units will reduce the impacts of development on significant site resources. Clustering does not allow for any additional units above those allowed per the Specific Plan.

2.2.2 Commercial Districts

General Commercial (GC-1)

The GC-1 District accommodates large multi-tenant shopping center development. Permitted uses, site configuration and parking ratios are geared to accommodate large tenants with accessory inline retail and free standing pads.

Village Commercial (VC-1)

The VC-1 District accommodates a “Main Street” style, mixed use, pedestrian scale commercial development pattern. Under this District, uses are vertically controlled based on access and orientation to the sidewalk level. The intent of the zone is to create a lively commercial sidewalk environment. Upper story uses are restricted to office, professional and residential uses only.

Resort Commercial (RC-1)

The RC-1 District accommodates a “resort center” style, mixed use, pedestrian scale commercial development pattern. The intent of the zone is to provide for hotel accommodations, restaurants, conference center and specialty shops that cater to guests, business and residents of Twelve Bridges.

2.2.3 Employment Districts

Employment Center (EC-1)

The EC-1 District accommodates a flexible variety of employment generating land uses. These uses include light manufacturing, office, and professional space, research and development, and other “clean” industries. Retail commercial and shopping centers are also permitted. The EC-1 District will accommodate a variety of user programs ranging from large single tenant campus type complexes to smaller multi-tenant, individual office buildings.

2.2.4 Open Space Districts

Open Space - Recreation (OS-R)

The OS-R District accommodates an unrestricted variety of open space and recreational uses and improvements. Permitted within this District would be public facilities, landscaped features, recreational facilities, pathway systems, public parks and water features. Building and structures that either support or are compatible with these open space uses would be permitted with this District. Grading and slope alteration is permissible. A unique and specific site zoned OS-R in this GDP is the Southeastern corner of the Plan Area. This area will be utilized by Western Placer School District as an Environmental Learning Center - a new concept in education still being developed as a part of Western Placer’s ‘Project Build’.

Open Space - Conservation (OS-C)

The OS-C District is a restricted use district intended to create permanent habitat preserves. Permitted within the District would be passive recreational facilities such as trail systems and nature exhibits. Included in this District would also be habitat preserve areas, which would include stream corridors, vernal pool areas, hillside slope areas and other sensitive biotic habitat. Any development, structures, improvements or grading within this District would be designed to minimize the level of impact to natural features.

2.2.5 Public Facilities District

Public Facilities (PUB-1)

The PUB-1 District accommodates public and quasi-public serving uses that include public safety buildings, churches, schools, libraries, community centers and recreational facilities. The only areas formally zoned as PUB-1 in this GDP is the Community Colleges site and Middle School site south of the “Main Village” Area. The other Public Facility sites such as elementary schools, fire stations, etc., are “floating” sites and are also considered consistent with the zones reflected on the zoning diagram.

2.3 Development Code Standards

The following standards work in conjunction with the City's Zoning Ordinance (Title 18) and are intended to be more restrictive. In the event there is a difference between the City Zoning and the GDP, the development codes specified in this section shall prevail for properties governed by the GDP. Any regulations not covered in this GDP are deferred to regulations contained elsewhere in the City of Lincoln Zoning Ordinance/Municipal Code. Interpretation and implementation of the development codes specified in this GDP shall be made by the City of Lincoln's Community Development Director.

Twelve Bridges Development Code

LD-E Standards

Low Density Residential 20,000 sq. ft. min.

All numbers are minimums unless otherwise noted

For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning

This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Land Use		
<ul style="list-style-type: none"> Residential Land Use Minimum Area Permitted Uses Conditional Uses 	<p>LD, VLD</p> <p>5 Acres</p> <p>Sec. 18.12.010</p> <p>Sec. 18.12.020</p> <p>Second Residential Unit</p> <p>Subordinate to Primary Unit</p> <p>Equestrian Use</p> <p>Clustered Development within 'The Oaks'</p>	<p>is permitted in this land use category</p> <p>Other than in the -1 minimum area</p> <p>Other than in the -1 minimum area</p> <p>Allowed under the "ranny" unit either vertically or attached to the primary unit or detached pursuant to the government code sections 1 and</p> <p>Non-attached lots or parcels may be used for private use not to exceed the area used to use permit area</p> <p>Other than clustered development standards as articulated in general development plan</p>
Design Guidelines/Character		
<ul style="list-style-type: none"> Architectural Character & Materials Design Guidelines & Materials 		<p>Development shall issue an architectural consistency</p> <p>It shall be general development plan</p> <p>Development shall issue an architectural consistency</p> <p>It shall be general development plan</p>
Lot Configuration		
<ul style="list-style-type: none"> Minimum Area Interior Lot Width Front Lot Width Side-Setback Street Frontage Minimum Depth Minimum Coverage 	<p>20,000 sq. ft.</p> <p>120 feet</p> <p>120 feet</p> <p>35 feet</p> <p>120 feet</p> <p>30% maximum</p>	<p>Measured at 0 set</p> <p>Measured at 0 set</p> <p>Measured at property line</p> <p>Vertical minimum depth</p> <p>Frontation area including area</p>
Setbacks		
<ul style="list-style-type: none"> Front Yard <ul style="list-style-type: none"> Building Driveway Area Side Yard Driveway Side Street Rear Yard 	<p>20 feet</p> <p>20 feet</p> <p>25 feet</p> <p>15 feet</p> <p>20 feet</p> <p>20 feet</p>	
Off Street Parking		
<ul style="list-style-type: none"> Area reserved 	2 spaces	

Twelve Bridges Development Code

LD-E Standards

Low Density Residential 20,000 sq. ft. min.

All numbers are minimums unless otherwise noted
For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning
This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Building Massing		
Height	40 feet	Measured from the finished grade
Fencing For a description of fence types see section 18.01		
Permitted uses		
Residential use	Type 4	See table -
Other uses	Type 2	See table -

Twelve Bridges Development Code

LDR-10 Standards

Low Density Residential 10,000 sq. ft. min.

All numbers are minimums unless otherwise noted

For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning

This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Building Massing		
Height	35 feet	Measured from the finished grade
Fencing For a description of fence types see section 101		
Permitted uses		
Inside street yards	Type 3 or 5	See applicable -
Inside Front yard	3 foot height maximum	0' minimum transitory
Outside street yard setbacks	Type 2	See applicable -
Behind detached structure	6 foot height maximum	Must be enclosed structure in front yards
Earthen fence	Type 3	See applicable -
Wood fence	meets the definition of 0' transitory	

Twelve Bridges Development Code

LDR-8 Standards

Low Density Residential 8,000 sq. ft. min.

All numbers are minimums unless otherwise noted
For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning
This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Land Use		
<ul style="list-style-type: none"> Permitted Land Use Minimum Area Permitted Uses Conditional Uses 	<p>LD, VLD 5 Acres Sec. 18.12.010 Sec. 18.12.020 Second Residential Unit Subordinate to Primary Unit Clustered Development within 'The Oaks'</p>	<p>is not permitted in this land use category Refer to City of Lincoln -1 Minimum Area 10,000 sq. ft. minimum Refer to City of Lincoln -1 Minimum Area 10,000 sq. ft. minimum Allowed under "Ranchy" unit either vertical or horizontal attached to the primary unit or detached pursuant to the government code sections 18.12.010 and 18.12.020 Refer to Clustered Development standards as part of this general development plan</p>
Design Guidelines/Character		
<ul style="list-style-type: none"> Architectural Character & Materials Design Guidelines & Materials 		<p>Refer to Planning Commission staff issue an architectural consistency Refer to Architectural General Development Plan Refer to Planning Commission staff issue an architectural consistency Refer to Architectural General Development Plan</p>
Lot Configuration		
<ul style="list-style-type: none"> Lot Area Interior Lot Width Front Lot Width Side-Separation Street Frontage Lot Elevation Lot Coverage 	<p>8,000 sq. ft. 70 feet 75 feet 35 feet 100 feet 45% maximum</p>	<p>Measured at 0° set back Measured at 0° set back Measured at property line Vertical minimum depth per lot Frontation area including area</p>
Setbacks		
<ul style="list-style-type: none"> Front Yard <ul style="list-style-type: none"> Building <ul style="list-style-type: none"> Roof Area Area Enclosed Entry Side Yards Side Yard Enclosure Driveway Side Street Rear Yard 	<p>15 feet 15 feet 20 feet 15 feet 5 feet 15 feet 20 feet 15 feet</p>	<p>Leading edge of building should be set back to street and area Should never be less than</p>
Off Street Parking		
<ul style="list-style-type: none"> Area Covered Spaces 	2 spaces	
Garage Setbacks		

Twelve Bridges Development Code

LDR-8 Standards

Low Density Residential 8,000 sq. ft. min.

All numbers are minimums unless otherwise noted

For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning

This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Front yard	20 feet	
Side-attached	15 feet*	
Side yard	5 feet*	
Rear yard	5 feet*	

Unless otherwise indicated appropriate minimums to Uniform Building Code may only be used when indicated in an ordinance. There is a minimum separation of 10 feet between residential

Building Massing

Height	35 feet	Measured from the finished grade
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Fencing

For a description of fence types see section 18-01

Permitted uses		
Inside street yards	Type 3 or 5	See applicable -
Inside Front yard	3 foot height maximum	0' minimum transitory
Outside street yards	Type 2	See applicable -
Erected structure	6 foot height maximum	Must be erected in front yards
Rear yard fence	Type 3	See applicable -

Ordinance meets the definition of 0' transitory

Twelve Bridges Development Code

LDR-5 Standards

Low Density Residential 5,000 sq. ft. min.

All numbers are minimums unless otherwise noted
For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning
This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Land Use		
Permitted Land Use	LD	Is permitted in this land use category
Minimum Area	5 Acres	
Permitted Uses	Sec. 18.12.010	Other than in the -1 minimum area
Conditional Uses	Sec. 18.12.020	Other than in the -1 minimum area
	Second Residential Unit	Allowed under the "ranny" unit either area
	Subordinate to Primary Unit	Attached to the primary unit pursuant to government code sections 1 and
Design Guidelines/Character		
Material & Materials		Residential Commission shall issue an advisory
Design Guidelines		Residential Commission shall issue an advisory
Lot Configuration		
Minimum Area	5,000 sq. ft.*	
Interior Lot Width	45 feet	Measured at 0 set
Front Lot Width	50 feet	Measured at 0 set
Side-Setback Street Frontage	35 feet	Measured at property line
Front Eave	90 feet	Vertical minimum depth
Front Coverage	60% maximum	Foundation area including area
Is the area a reduced minimum lot size		It is 000 square feet minimum area
Setbacks		
Front yard		
Building	15 feet*	Building edge to sidewalk shall be set back from street area
Side yard	10 feet	
Area	20 feet	
Area of entry	15 feet*	
Side yards	5 feet	
Side yard setback	10 feet*	
Driveway side street	15 feet	
Garage	15 feet*	
Residential setbacks as Fire Insurance Code may require		
Required setbacks a minimum of 0 feet		
Off Street Parking		

Twelve Bridges Development Code

LDR-5 Standards

Low Density Residential 5,000 sq. ft. min.

All numbers are minimums unless otherwise noted

For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning

This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
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Driveway	2 spaces	
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Garage Setbacks

Front yard	20 feet	
Side-attached	15 feet*	
Side yard	5 feet*	
Rear yard	5 feet*	

Unimproved lots may only be used for interrelated and adjacent lots where there is a minimum separation of 10 feet between residential

Building Massing

Height	35 feet maximum	
--------	-----------------	--

Fencing

For a description of fence types see section 18.01

Permitted uses		
Inside street yards	Type 3 or 5	See applicable -
Inside Front yard	3 foot height maximum	0' minimum transitory
Outside street yards	Type 2	See applicable -
End of driveway	6 foot height maximum	Must be enclosed structure in front yards

Detached lot meets the definition of 0' transitory

Twelve Bridges Development Code

MD-1 Standards

Medium Density Residential

All numbers are minimums unless otherwise noted

For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning

This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Land Use		
<ul style="list-style-type: none"> Permitted Land Use Minimum Area Permitted Uses Conditional Uses 	<p>MD</p> <p>2 Acres</p> <p>Sec. 18.12.010, 18.14, 18.16</p> <p>Sec. 18.12.020, 18.14, 18.16</p> <p>Clustered Development</p> <p>Second Residential Unit</p> <p>Subordinate to Primary Unit</p>	<p>is permitted in this land use category</p> <p>Other than in the -1 minimum area ending</p> <p>Other than in the clustered development standards as articulated in general development plan</p> <p>Allowed under the "ranny" unit either vertical or attached to the primary unit pursuant to government code section 1 and</p>
Design Guidelines/Character		
<ul style="list-style-type: none"> Site Plan & Materials Design Guidelines Attached Roadcuts 		<p>Planning Commission shall issue an advisory consistent with the general development plan</p> <p>Planning Commission shall issue an advisory consistent with the general development plan</p> <p>All attached roadcuts must comply with clustered development standards</p>
Lot Configuration		
	<p><i>Single Family Detached</i></p> <p>4000 sq. ft.</p> <p>40 feet</p> <p>45 feet</p> <p>30 feet</p> <p>75 feet</p> <p>60% maximum</p> <p>4000 sq. ft.</p>	<p><i>Multi-Family</i></p> <p>7500 sq. ft.</p> <p>75 feet</p> <p>75 feet</p> <p>N/A</p> <p>100 feet</p> <p>60% maximum</p> <p>3500 sq. ft.</p>
Setbacks		
<p>Front yard</p> <ul style="list-style-type: none"> Building Side Back Backside entry Side yards Side yard retreat Driveway side street <p>Other lot line encroachments permitted in advisory site or cluster development review reduces</p>	<p>15 feet</p> <p>10 feet</p> <p>20 feet</p> <p>15 feet</p> <p>10 feet</p> <p>10 feet</p> <p>10 feet</p>	<p>Building setback shall be set to street to an area of 0' side ellin unit</p> <p>10 feet</p> <p>30 feet</p> <p>15 feet</p> <p>10 feet</p> <p>10 feet</p>

Twelve Bridges Development Code

MD-1 Standards

Medium Density Residential

All numbers are minimums unless otherwise noted

For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning

This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Off Street Parking		
Requirements Required spaces	Sec. 18.44.030 Single Family-Detached 1½ spaces	
Garage Setbacks for Single Family Detached		
Front yard	20 feet	
Side-attached	15 feet*	
Side yard	5 feet*	
Rear yard	5 feet*	
<p>Unless otherwise allowed, it is appropriate to maintain the Unit form building setback line may only be used when interpreted in accordance with the intent of the code. There is a minimum setback of 10 feet to the nearest residential</p>		
Porch / Courtyard		
Requirements		Units are encouraged to have either a front or courtyard feature. This is defined as an outdoor sitting space with visibility to the street.
Setback	6 feet	Usable clear area
Building Massing		
Height	35 feet maximum	
Fencing For a description of fence types see section 18.44.01		
Permitted types Inside street yard setbacks	Type 3 or 5	See applicable -
Inside Front yard	3 foot height maximum	0' minimum transitory
Inner side yards	3 foot height maximum to 5 feet beyond face of building	0' minimum transitory
Side and rear yard		
End of development structure	6 foot height maximum	Must be enclosed structure in front yards
<p>Development fence meets the definition of 0' transitory</p>		

Twelve Bridges Development Code

HD-1 Standards

High Density Residential

All numbers are minimums unless otherwise noted

For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning
This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Land Use		
Specific Plan Land Use	HD	This zoning permitted under these landuses
Permitted Uses	Sec. 18.16.010, 18.12.010	Refer to City of Lincoln Zoning: Title 18 (See Appendix)
Conditional Uses	Sec. 18.16.020	Permitted uses shall be adopted by the Specific Development Plan and may only be modified with a conditional use permit.

Design Guidelines/Character

Architectural Character& Materials		The Planning Commission shall issue an approval of consistency with Chapter 3 of the General Development Plan.
Design Guidelines Compliance		The Planning Commission shall issue an approval of consistency with Chapter 3 of the General Development Plan.

Lot Configuration

	Multi-Family	Single-Family (Alley Access)	Small Lot Single-Family	Small Lot Two-Family
Lot Area	7500 sq. ft.	1,850 sq. ft.	1,850 sq. ft.	1,400 sq. ft.
Interior Lot Width	75 feet	30 feet	30 feet	25 feet
Corner Lot Width	75 feet	35 feet	35 feet	27.5 feet
Cul-de-sac Street Frontage	N/A	N/A	25 feet	N/A
Lot Depth	100 feet	53 feet	53 feet	53 feet
Lot Coverage	60% maximum	65% maximum	65% maximum	65% maximum
Lot Area per Unit	2000 sq. ft.	N/A	N/A	N/A

Setbacks

Front yard				
Building	15 feet	5 feet to PL	10 feet	10 feet
Porch	10 feet	5 feet to PL	10 feet	10 feet
Garage	10 feet	3 feet	18 feet***	18 feet***
Side Yards		1 foot min	1 foot min	1 foot min
Side Yard Aggregate	10 feet	3 feet min / 5 feet typ	5 feet*	5 feet*
Adjoining Side Street	10 feet	3 feet	10 feet	10 feet
Garages	0 feet	N/A	N/A	N/A
Rear Yard		3 feet	10 feet**	N/A
Elements	10 feet	N/A	N/A	N/A
Garages	10 feet	N/A	N/A	N/A

* Combined side-yard setback for two lots between structures. Architectural Projections such as Fireplaces, Bay Windows, etc. may project into the required setback a maximum of 30%, not to exceed 3-feet.

** Rear setback may be reduced by up to 50% for 50% of lot width if average rear setback of 10 feet is maintained. (see page 2-21a)

*** Minimum driveway depth of 18 feet requires a roll-up garage door. Garages accessed by alleys may have a minimum of 1' aprons versus 18' setback requirements to roadways.

Off Street Parking

Parking Requirements	1 space per 1,000 sq. ft. per 1,000 sq. ft. per Unit	
Garage/Covered Spaces	1 space per 1,000 sq. ft. per 1,000 sq. ft. per Unit	Single-Family Detached 2 spaces Multi-Family & Two-Family Attached 1 space per unit

Twelve Bridges Development Code

HD-1 Standards

High Density Residential

All numbers are minimums unless otherwise noted
For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning
This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Porch / Courtyard (Single Family)		
Requirements		Units are encouraged to have either a covered or uncovered courtyard feature. A courtyard is defined as an outdoor sitting space that is visible to the street.
Depth	6 feet	
Building Massing		
Height Front Yard	<i>Multi-Family</i> 50 feet	
Fencing (Single Family and Multi-Family) For a description of fence types see section 18.01		
Permitted Fencing		See table -
Inside Street Yard	Type 3 or 5	
Inside Front Yard	3 foot height maximum	
Corner Side Yard	3 foot height maximum	
Rear and Side Yard		
Behind Detached Structure	6 foot height maximum	
Fence height meets the definition of 0' transitional		

GENERAL DEVELOPMENT PLAN

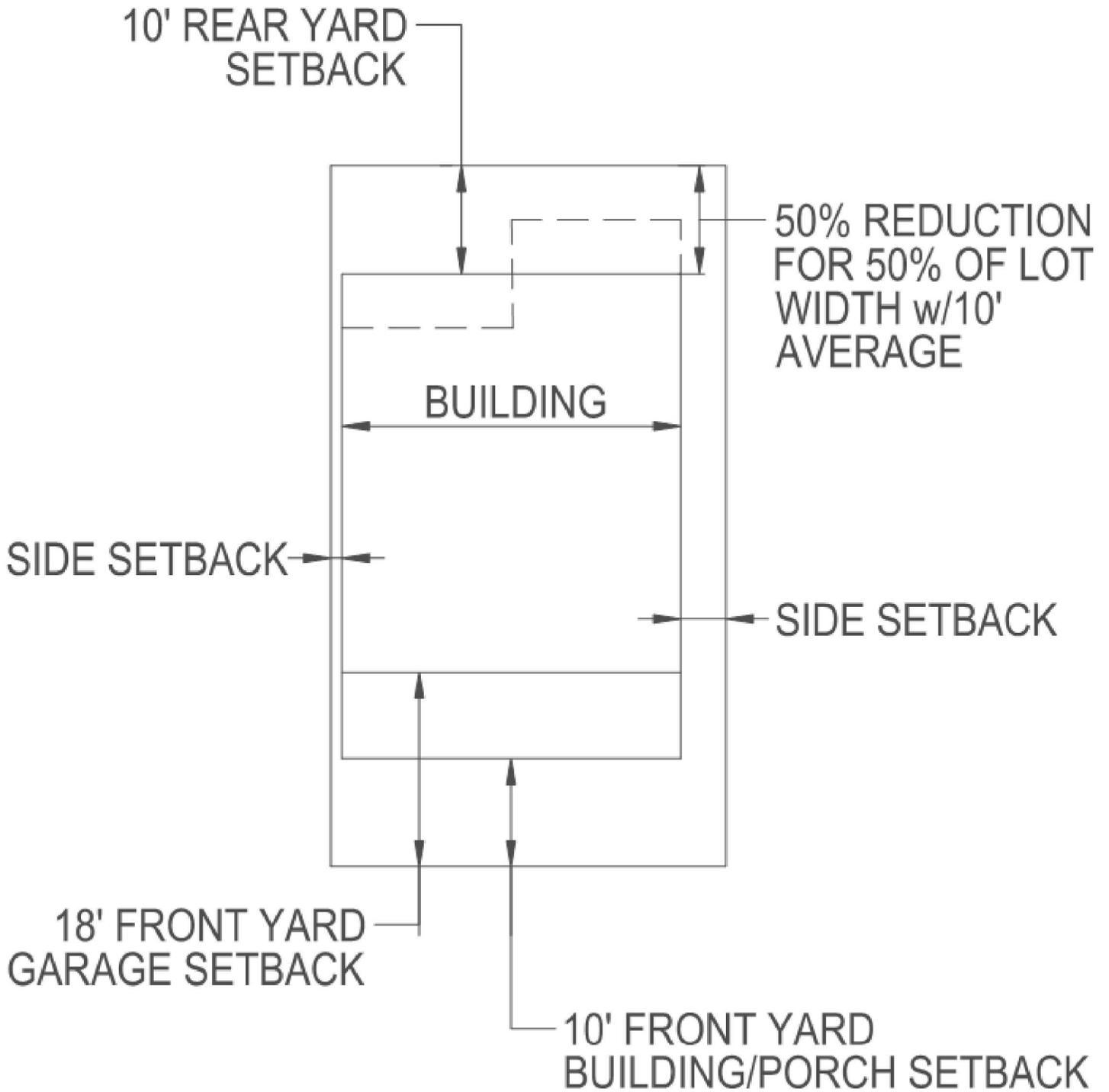


Figure 2-3



Typical Single-Family
Detached Building Envelope

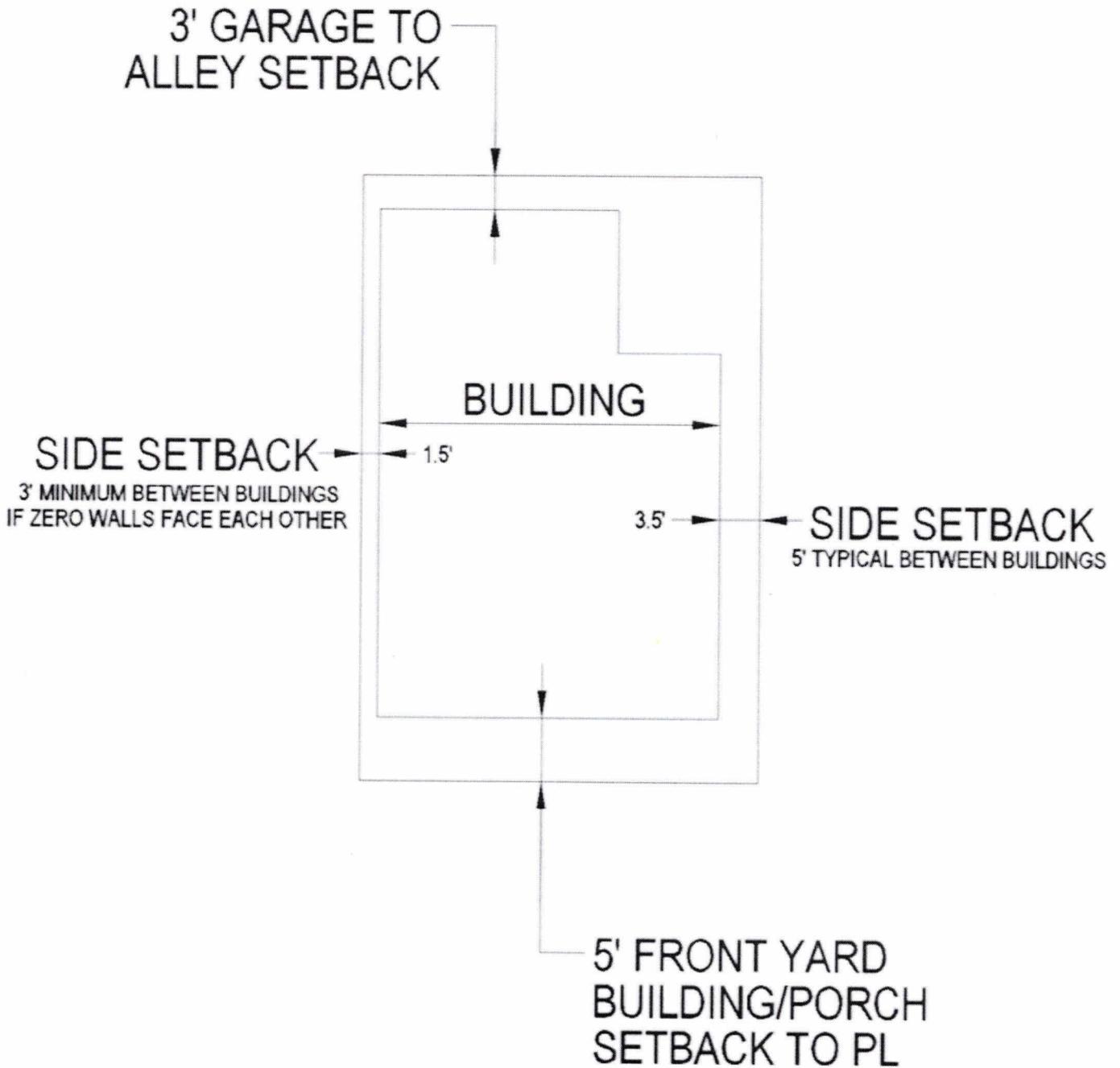


Figure 2-4



Typical Single-Family
Detached Building Envelope
(Alley Access)

Twelve Bridges Development Code

Clustered Development Standards

All numbers are minimums unless otherwise noted

For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning

This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Land Use		
Development Land Use	MD, LD, VLD	Development is permitted as an overlay zone in "Development Areas"
Minimum Area	5 Acres	Community intentionally
Permitted Uses	See Primary Zone (LD-E, LDR-10, LDR-8, MD-1)	
Conditional Uses	Sec. 18.14.010, 18.16.010	Other to the city in - and - minimum see end

Purpose

The general development land use and use envelopes and minimum boundaries have been delineated to minimize impacts on the sites natural resources and amenities. It is the intent of this overlay zone to permit and encourage creative design solutions that preserve the natural environment to reduce grading and other impacts on natural site resources.

Design Guidelines/Character

Design guidelines shall include: Each project proposed as a 'Cluster Development' will be reviewed by the 'Oaks Design Review Committee' (See Section 4.3 of the GDP) and City for consistency with these cluster development standards as well as the appropriate guidelines for site planning outlined within this general development plan (See Section 3.1.4, 3.2, 3.3 and 3.4 of this GDP).

Basic Parameters

Cluster Density: Specified in the Specific Plan/ General Development Plan Land Uses
 Grading Standards: Maximum of 70% of the area can be impacted by grading
 Coverage: 70%, Coverage; 30% Open Space
 Protection of natural resources and natural site conditions and amenities is a criterion to the design of a project processed under the 'Cluster Development' Overlay Zone
 Creation of an open space area equal to no less than 30% of the development area is required within every Project Purposed as a 'Clustered Development'.

Lot Configuration

	Single Family Detached	Attached	
Minimum Area	3500 sq. ft.	7500 sq. ft.	
Front Yard Setback	35 feet	75 feet	Measured at 0° setback
Side Yard Setback	40 feet	75 feet	Measured at 0° setback
Street Frontage	30 feet	N/A	Measured at property line
Minimum Height	90 feet	90 feet	Minimum height
Maximum Coverage	60% maximum	60% maximum	Undeveloped area included
Minimum Area per Unit	3500 sq. ft.	3000 sq. ft.	

Twelve Bridges Development Code

Clustered Development Standards

All numbers are minimums unless otherwise noted
For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning
This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Setbacks		
	<i>Single Family Detached</i>	<i>Attached</i>
Front yard building	15 feet	15 feet
Side yard building	10 feet	10 feet
Side yard area	20 feet	25 feet
Side yards building	15 feet	15 feet
Building side street	10 feet	10 feet
Building side street	20 feet	20 feet
Building side street	20 feet	20 feet
Off Street Parking		
Building requirements	Sec. 18.44.030	Must be required building to be provided
Area reserved spaces	2 spaces	
Building Massing		
Height	<i>Single Family Detached</i> 35 feet	<i>Multi-Family</i> 40 feet
		Measured from finished grade
Fencing For a description of fence types see section 18.44.01		
Permitted Fencing		
Outside street and setbacks	Type 2	See applicable
End of development	6 foot height maximum	Must be end of development structure in front yards
Street corner	Type 3, 4, or 5 subject to conditions	See applicable

Twelve Bridges Development Code

GC-1 Standards

General Commercial

All numbers are minimums unless otherwise noted

For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning

This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Land Use		
Permitted Land Use	C	Only permitted in this land use category
Minimum Acreage	2 Acres	
Permitted Uses	Sec 18.22.010, 18.22.020	Refer to City of Lincoln Title 18 Zoning Code
Conditional Uses	Sec 18.22.030	Refer to City of Lincoln Title 18 Zoning Code
Design Guidelines/Character		
Architectural Character & Materials		Language of design shall maintain consistency with character of general development land
Design Guidelines Compliance		Language of design shall maintain consistency with character of general development land
Lot Configuration		
Lot Area	2500 sq. ft.	
Lot Width	150 feet	
Lot Depth	100 feet	
Lot Coverage	60% maximum	
Setbacks		
Front	20 feet*	Where applicable, setbacks to the street shall still apply and must be used for lands adjacent to
Side	20 feet*	Setback required when adjacent to an alley
Rear	20 feet*	

Twelve Bridges Development Code

GC-1 Standards

General Commercial

All numbers are minimums unless otherwise noted
For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning
This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Off Street Parking		
Number of spaces	Title 18, Article I 18.44.010 et.seq.	Refer to City of Lincoln Ordinance Title 18
Building Massing		
Height	50 feet maximum	Roofline architectural elements and architectural details may extend beyond height limit by up to 0-10 feet
Signage		
Signage restrictions		Refer to City of Lincoln Ordinance Title 18 and other applicable documents. Signs on land shall be submitted for design review.
Fencing For a description of fence types see section 18.44.010		
Permitted Fencing	Type 1, 6, 7	Refer to other applicable ordinance general development plan

Twelve Bridges Development Code

VC-1 Standards

Village Commercial

All numbers are minimums unless otherwise noted

For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning

This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Land Use		
<ul style="list-style-type: none"> Permitted Land Use Minimum Acreage Permitted Uses 	<p>VC</p> <p>1 Acre</p> <p>Sec 18.22.010, 18.22.020</p>	<p>is not permitted in these land uses categories</p> <p>Other than in the In the minimum title 18 code ending in the U other residential units are permitted in the density must be transferred from any unallotted units in the land use</p>
Design Guidelines/Character		
<ul style="list-style-type: none"> Architectural Character & Materials Design Guidelines 		<p>Landmark Commission shall make a finding consistently with the other general development land</p> <p>Landmark Commission shall make a finding consistently with the other general development land</p>
Lot Configuration		
<ul style="list-style-type: none"> Lot Area Lot Width Lot Depth Lot Coverage 	<p>2500 sq. ft.</p> <p>35 feet</p> <p>100 feet</p> <p>60% maximum</p>	
Setbacks		
<ul style="list-style-type: none"> Front Side Rear 	<p>0 feet</p> <p>0 feet</p> <p>10 feet</p>	<p>Ground level elevation building is encouraged to be attached to the front and side yard setbacks unless approved by the pedestrian facilities</p>

Twelve Bridges Development Code

VC-1 Standards

Village Commercial

All numbers are minimums unless otherwise noted
For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning
This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Off Street Parking		
Required Requirements	Sec. 18.44.180, 18.44.200 Sec. 18.44.210, 18.44.030 B	Refer to City in Lincoln ordinance title 18 Required parking may be met through a shared agreement with adjoining commercial pursuant to the City's Mixed Use requirements 18.44.100
Building Massing		
Height Building Permitted Elements	60 feet maximum Architectural elements	Must be noted
Signage		
Signage Restrictions		Refer to City in Lincoln ordinance title 18 and alter this document sign plan shall be submitted for design review
Fencing (For a description of fence types see section 18.44.100)		
Permitted Fencing	Type 1, 6, 7	Refer to alter fence - to be general elevation plan

Twelve Bridges Development Code

RC-1 Standards

Resort Commercial

All numbers are minimums unless otherwise noted

For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning

This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Land Use		
<ul style="list-style-type: none"> Minimum Lot Area and Use Minimum Lot Area Minimum Permitted Uses 	<p>VC</p> <p>1 Acre</p> <p>18.16.010, 18.20.010, 18.16.020 (A,C, & E) 18.22.020 (2 through 10 and 12 through 30) 18.22.030(A)&(Q)</p>	<p>Only those uses permitted in these land uses are allowed.</p> <p>Other than in the minimum lot size, see also the following: For residential units permitted in the RC-1, the density is to be transferred from any unallotted units elsewhere in the plan area.</p>
Design Guidelines/Character		
<ul style="list-style-type: none"> Architectural Character & Materials Design Guidelines Compliance 		<p>Landscaping, signage, and all other elements shall be consistent with the general development plan.</p> <p>Landscaping, signage, and all other elements shall be consistent with the general development plan.</p>
Lot Configuration		
<ul style="list-style-type: none"> Lot Area Lot Width Lot Depth Lot Coverage 	<p>2500 sq. ft.</p> <p>35 feet</p> <p>100 feet</p> <p>60% maximum</p>	
Setbacks		
<ul style="list-style-type: none"> Front Yard Side Yards Rear Yard 	<p>20 feet</p> <p>20 feet</p> <p>20 feet</p>	

Twelve Bridges Development Code

RC-1 Standards

Resort Commercial

All numbers are minimums unless otherwise noted
For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning
This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Off Street Parking		
Number of requirements	Sec. 18.44.180., 18.44.200. Sec. 18.44.210, 18.44.030 (B & F), 18.44.040	Refer to City of Lincoln Title 18
Building Massing		
Height Building Permitted elements	50 feet maximum Uninhabitable architectural elements	Up to 50 feet maximum for uninhabitable building elements
Signage		
Number of signs	Chapter 16.32	Refer to City of Lincoln Code Title 18 and all other documents
Fencing For a description of fence types see section 18.44.010		
Permitted Fencing	Type 1, 3, 4, 5, and 7 subject to conditions	Refer to all other applicable general development land

Twelve Bridges Development Code

EC-1 Standards

Employment Center

All numbers are minimums unless otherwise noted

For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning

This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Land Use		
<ul style="list-style-type: none"> Minimum Lot Area and Use Minimum Lot Area Minimum Permitted Uses 	<p>EC, CC, MD</p> <p>1 Acre</p> <p>Sec. 18.20.010; 18.20.020; 18.22.010; 18.22.020; 18.24.010; 18.24.020 (I)</p> <p>General Office; Research & Development; Retail Commercial and Shopping Centers; Communications; Medical; Biotech; or other similar uses.</p>	<p>Is not permitted in this land use category</p> <p>Refer to City of Lincoln in Minimum Title 18 Code Appendix</p>
<ul style="list-style-type: none"> Conditional Uses 	<p>Sec. 18.22.030*</p> <p>Including apartments, townhomes and minimums</p>	<p>Refer to City of Lincoln in Minimum Title 18 Code Appendix</p>
Design Guidelines/Character		
<ul style="list-style-type: none"> Architectural Character & Materials Design Guidelines & Materials 		<p>Landscaping & Missions shall make a binding consistent with the architectural & general development plan</p> <p>Landscaping & Missions shall make a binding consistent with the architectural & general development plan</p> <p>Commercial uses are subject to design guidelines in the plan</p>
Lot Configuration		
<ul style="list-style-type: none"> Lot Area Lot Width Lot Depth Lot Coverage 	<p>1 Acre</p> <p>100 feet</p> <p>150 feet</p> <p>60% maximum</p>	
Setbacks		
<ul style="list-style-type: none"> Front Yard Side Yards Rear Yard 	<p>20 feet</p> <p>20 feet</p> <p>20 feet</p>	

Twelve Bridges Development Code

EC-1 Standards

Employment Center

All numbers are minimums unless otherwise noted
For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning
This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Off Street Parking		
Required Requirements	Article I, Title 18 18.44.010 et.seq.	Refer to City in Lincoln Title 18
Building Massing		
Height Building Permitted Elements	60 feet maximum Architectural elements	Use of ornamentation feet for unadorned building elements
Signage		
Signage Restrictions		Refer to City in Lincoln Code Title 18 and after the general development plan sign plan shall be submitted for design review
Fencing For a description of fence types see section 18.44.010		
Permitted Fencing	Type 1, 6, 7	Refer to after the plan for general development plan

Twelve Bridges Development Code

PUB-1 Standards

Public Facilities

All numbers are minimums unless otherwise noted

For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning

This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Land Use		
<ul style="list-style-type: none"> Permitted Land Use Permitted Uses 	<p>All Public Serving, Recreational, Cultural, and Institutional Uses</p>	<p>Only those uses permitted under all special use categories In addition, no use is prohibited servicing institutional use materials and surrounding land uses</p>
Design Guidelines/Character		
<ul style="list-style-type: none"> Structural Character & Materials Design Guidelines 		<p>In addition, no use is prohibited In addition, no use is prohibited</p>
Lot Configuration		
<ul style="list-style-type: none"> Area Width Depth 	<p>10,000 sq. ft. 100 feet minimum No minimum</p>	
Setbacks		
<ul style="list-style-type: none"> Front Side Rear 	<p>20 feet 10 feet 20 feet</p>	

Twelve Bridges Development Code

PUB-1 Standards

Public Facilities

All numbers are minimums unless otherwise noted
For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning
This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Off Street Parking		
Required Requirements	Title 18 , Article I 18.44.010 et.seq.	Refer to City of Lincoln Title 18 for additional requirements
Building Massing		
Building Permitted Elements	40 feet maximum Architectural elements	Unintentional building elements may exceed 40 feet height limit
Signage		
Standard Restrictions		Refer to other Title 18 general development land
Fencing		
Permitted Fencing	Type 3, 5, 6, and 7	Refer to other Title 18 general development land

Twelve Bridges Development Code

OS-R Standards

Open Space/Recreation

All numbers are minimums unless otherwise noted

For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning

This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Land Use		
Permitted Land and Use Permitted Uses	OS 18.30.010; 18.30.020; Community Blgs, Day Care Resort Lodging in conjunction with the Golf Course Environmental Learning Center and associated educational facilities and uses	Refer to City Ordinance In Ordinance Title 18 For additional requirements see City Ordinance Title 18
Conditional Uses	Grazing of animals may occur in all open space areas not otherwise intended for public recreation uses	Use of land use permit area adjacent to reservation and municipal land use to determine requirements
Design Guidelines/Character		
Architectural Character & Materials		See Planning Commission staff made a finding consistent with the adopted general development plan
Design Guidelines Compliance		See Planning Commission staff made a finding consistent with the adopted general development plan
Lot Configuration		
Lot Area	No minimum	See guidelines and policies in ordinance regarding requirements
Lot Width	No minimum	
Lot Depth	No minimum	
Off Street Parking		
Additional Requirements	Sec. 18.44.160	Refer to City Ordinance In Ordinance Title 18
Signage		
Installation Restrictions	See Section 3.15 of this document	Refer also to the City Ordinance In Municipal Code Title 18
Fencing For a description of fencing types see section 18.44.160		
Permitted Fencing		Refer to the adopted general development plan

Twelve Bridges Development Code

OS-C Standards

Open Space-Conservation

All numbers are minimums unless otherwise noted

For regulations not covered in this code refer to the City of Lincoln Title 18 Zoning

This zoning code shall prevail where it conflicts with the City of Lincoln Zoning Code

Category	Regulation	Interpretation
Land Use		
<ul style="list-style-type: none"> Permitted Land Use Permitted Uses 	<p>OS Habitat Preserve</p> <p>Passive Recreational Uses and Facilities such as trails, picnic areas, and limited parking facilities associated with trail heads</p> <p>Grazing of animals may occur in all open space areas not otherwise intended for public recreation uses</p>	<p>Use is permitted in these land use categories:</p> <p>Limited residential construction permitted only in association with mitigation and mitigation management programs for the protection of natural resources and the environment.</p> <p>Utility assessments, roads, trails, and other associated utility lines</p> <p>Use of land for use permit areas and associated reservations and other related activities and requirements</p>
Lot Configuration		
<ul style="list-style-type: none"> Lot Area Lot Width Lot Depth 	<p>No minimum</p> <p>No minimum</p> <p>No minimum</p>	<p>Adapted and modified consistent with the Open Space and Use Land</p>
Off Street Parking		
<ul style="list-style-type: none"> Additional Requirements 	<p>None required</p>	
Signage		
<ul style="list-style-type: none"> Additional Restrictions 		<p>See City Ordinance Title 18 and Section 18.01.01.01</p>
Fencing		
<ul style="list-style-type: none"> Permitted Fencing 		<p>Refer to other applicable local government land</p>

3.0 Design Guidelines

This Chapter defines and establishes guidelines and policies to ensure consistency in the quality and character of the built environment throughout the General Development Plan Area. This can be accomplished by identifying “community districts” in which architectural styles, product types, fencing, signage, lighting, etc. will be designed to respond to the natural environment and create a strong sense of community character. The goal is that a distinct image to be created for each of the four “community districts” in the Plan Area. Each community district is defined by the natural environmental characteristics of the site, and therefore, will have its own identity. At the same time, each district will also be clearly recognized as an integral part of the larger Twelve Bridges.

The Design Guidelines are organized by community district, and by land use type and zoning. Where appropriate, site planning and guidelines are further categorized by building type or density.

Responsibility for interpretation of these guidelines lies with the Twelve Bridges Design Review Board and the City of Lincoln to ensure that all development projects comply with this section. The guidelines are to be utilized in conjunction with the Development Code Standards specified in Chapter 2 during the project approval process. As guidelines, flexibility is permissible as long as the basic intent of the guidelines is being met.

3.1 Community Districts

The character of a community in a large part is defined by the built environment. The built environment includes the organization, and scale of buildings and streets. The components of the built environment are the forms, colors and textures used in construction. The character of the community is also distinguished by the materials used in the related amenities such as landscape features, streetscape, lighting and signage. A significant element that contributes to the character of a community is the existing environmental features and their integration or juxtaposition with the built environment.

Architectural design/character should be compatible or complementary with the surrounding natural environment. Below, each of the four “community districts” found within the Twelve Bridges Specific Plan - Plan Area A are described. Each district is defined in response to a combination of the natural and built environment of the Plan Area.

3.1.1 Main Village

The character of the Main Village incorporates traditionally inspired small town elements. The Main Village will provide the primary concentration of employment,

commercial, business, professional office and higher density housing. The scale of development, character of streets and the patterns of buildings will be designed to accommodate pedestrians as well as automobiles. The material palette for the Main Village should reflect the materials commonly found and used in the region including those used in the area's historically significant buildings. Building materials that reflect downtown Lincoln include brick and terra-cotta. Along the Highway 65 frontage, the Main Village will convey the character and quality of Twelve Bridges and provide a gateway entry statement to the overall Plan Area. The following design principles reflect the characteristics that are desirable for the Main Village District.

Main Village Design Principles

- 1) Provide places of gathering and activity.
- 2) Create a place with a civic/urban character.
- 3) Design places to accommodate flexible uses and activities.
- 4) Provide a strong sense of community.
- 5) Utilize "Downtown" building patterns.
- 6) Create a consistent architectural character.
- 7) Provide subtle character linkage to downtown Lincoln through the use of brick and other material.
- 8) Create sidewalks and streetscapes with rich landscape and paving.
- 9) Build at pedestrian scale to encourage walking and bicycling.
- 10) Combine shopping, employment and living areas.

3.1.2 Southern Valley

The Southern Valley is envisioned as family oriented neighborhoods with ample parks, open space and an elementary school within easy walking distance. The elementary school and parks will provide community elements that will unify and lend identity to the community. Generous landscaping of streets, neighborhoods, hillside and open spaces will be required throughout the district. Residential development should include more than one architectural style. These styles should incorporate the architectural and landscape elements that reflect the natural history and character of the region. Building materials should focus on the use of river rock, wood, cement and stucco. Coloring of structures should include a variety of softer color tones. The following design principles reflect the characteristics that are desirable for the Southern Valley District.

Southern Valley Design Principles

- 1) Build neighborhoods to meet the needs of families.
- 2) Provide ample parks and recreational facilities.
- 3) Utilize the elementary school and parks as neighborhood landmarks and gathering places.
- 4) Provide pedestrian/bicycle circulation opportunities to all destination points.

- 5) Design neighborhoods and streets for pedestrian circulation.
- 6) Blend development with the topography and oak hillsides.
- 7) Utilize architectural styles that are appropriate to the area.
- 8) Minimize the visual impact of development by regulating roof colors and forms.
- 9) Integrate the prominent ridges, oaks and riparian woodlands and natural drainages into visual and recreational amenities.

3.1.3 The Ridge

The Ridge District is located along the north central portion of Plan Area A. The hillside nature of the district will provide residents with views of Downtown Lincoln, the Sutter Buttes and the greater Sacramento Valley. Attention to architecture details should focus on emphasizing the panoramic views afforded in this district, while de-emphasizing the visual impact of development similar to the Southern Valley District. Visual impacts can be minimized by controlling rooftop color and form, and building color. Architecture detail should focus on the use of wood, old stone or moss rock and stucco. Coloring of stucco should be of medium to soft tones. The following design principles reflect the characteristics that are desirable for The Ridge District.

The Ridge Design Principles

- 1) Utilize extensive landscaping to minimize the impact of hillside development.
- 2) Take advantage of panoramic views.
- 3) Blend development with the topography.
- 4) Utilize architectural styles appropriate to the area.
- 5) Minimize the visual impact of development by regulating roof colors and forms.
- 6) Utilize the park site as a district focal point and gathering place.
- 7) Provide pedestrian/bicycle circulation opportunities.
- 8) Maximizing the amenity potential of natural drainage and open space.

3.1.4 The Oaks

The Oaks District is envisioned as a series of secluded estate neighborhoods along narrow hillside lanes that blend with the oak woodlands. The Oaks provides an exclusive living environment with a championship golf course and ample open space. The Golf Club House and Golf Course will define the district's character and activities. The character of this community district will incorporate materials and forms that reflect and blend with the Golf Course and the oak woodland environment. Building materials should be accented with granite. The following design principles reflect the characteristics that are desirable for The Oaks District.

The Oaks Design Principles

- 1) Protect the district's rural/wooded character.
- 2) Blend development with hillsides and oak woodlands.
- 3) Utilize a "championship" quality golf course as the district's defining element.
- 4) Provide strong visual/character relationships to the existing golf course.
- 5) Ensure development adjacent to the Golf Course is a minimum 150' from center of fairways.
- 6) Ensure all development enhances the golf course's image and prestige.
- 7) Establish secluded, rural residential neighborhoods.
- 8) Provide for upscale/estate housing.
- 9) Minimize disturbances to topography and trees through use of special standards (e.g., hillside lane streets, minimizing fencing and lighting).
- 10) Minimize density in sensitive areas.

3.2 Very Low Density Residential Designations

Estate Residential (LD-E)

The Very Low Density (VLD) designation accommodates a large lot, "rural estate" housing product in the 0.1 to 2.0 units per acre density range. The VLD designation protects sensitive areas, such as hillsides, from over development. It is intended to possess a rural, countryside character that is complementary to the Twelve Bridges Golf Course.

Large, custom homes are to incorporate architectural features and forms found in the surrounding countryside. These distinctive homes will be nestled among the oak covered slopes. Spectacular views of the Golf Course and of the valley and large private parcels will be benefits of living in these rural neighborhoods. Rail fences running along narrow tree covered lanes, which wind through the hills will characterize these areas (refer to Figure 3-1).

Policies

- 1) Deep setbacks are intended to ensure the rural character of the area is maintained by providing ample space between homes and the street.
- 2) Grading and site disturbance should be minimized to the greatest extent possible. Pads should be limited to the area required by the building's footprint. Cut and fill slopes should be engineered to blend with the site's natural contours. Retaining walls are not to exceed four feet in height and should be finished to complement the design of the house or the surrounding terrain.
- 3) Native trees and vegetation are to be preserved to the greatest extent possible. Grading, cutting, compaction, construction or irrigation should avoid areas within the drip line's of native trees.
- 4) Landscaped areas requiring spray irrigation should be limited. The site should be landscaped with at least 50 percent native, drought tolerant plants.
- 5) A fuel modification zone of 30 feet must be maintained around all structures to protect against wildland fires.
- 6) Driveway apron widths should be minimized at the street (maximum two car/16' width).

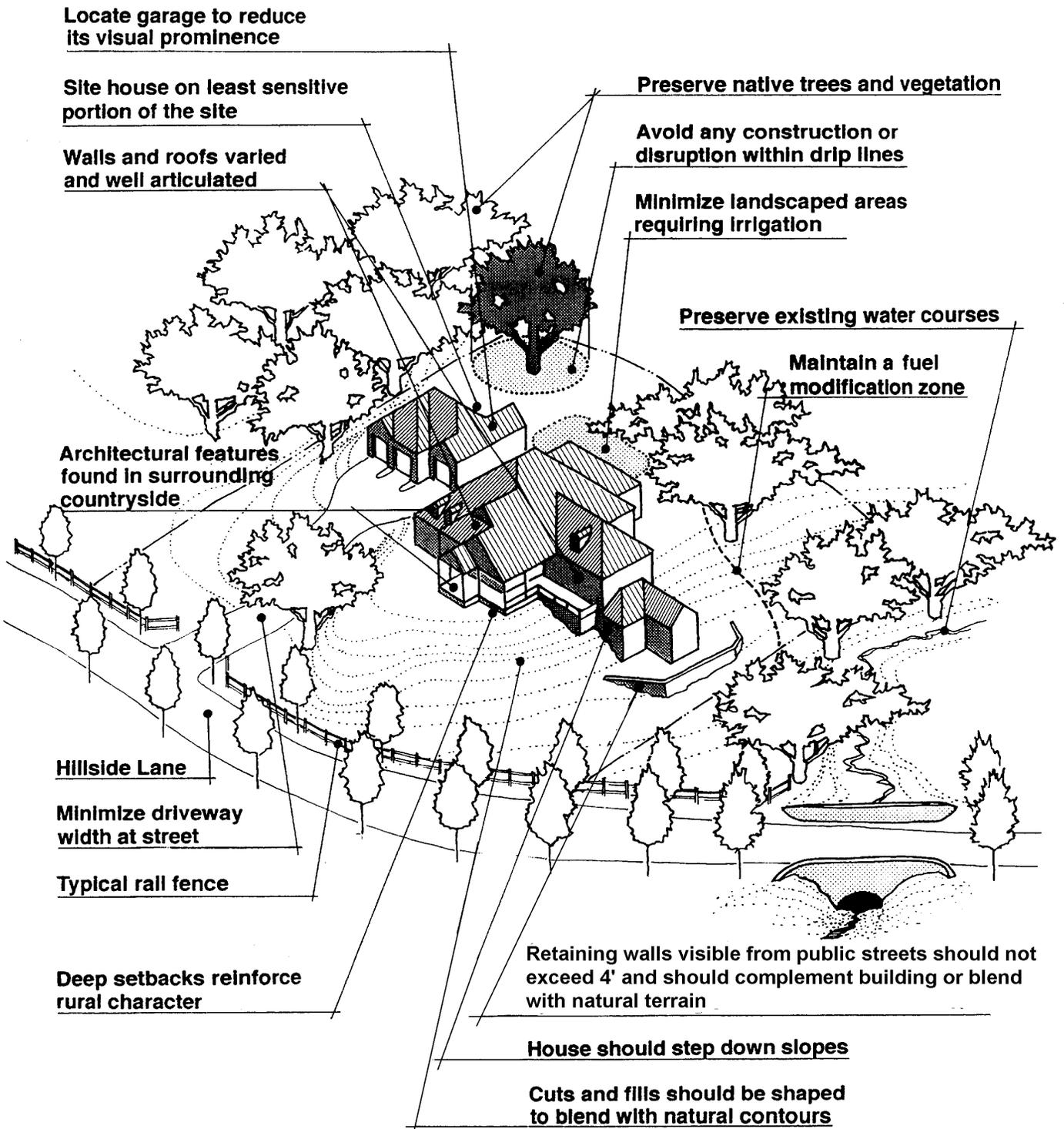


Figure 3-1

- 7) In areas devoid of trees, street trees should be planted along streets and lanes to enhance natural landscape.
- 8) Housing structures should be designed to complement the site surroundings. Compatible colors and materials should be utilized. Foundations should step down slopes and conform to the terrain. Exposed pilings or structures cantilevered over slopes should be avoided when possible. If necessary Landscaping or other screening methods should be used to minimize visual impacts.
- 9) Building wall and roof planes should be varied and articulated into smaller modules and features to reduce the structure's apparent bulk and size.
- 10) All utility and mechanical equipment should be screened from view. Roof mounted air conditioners, coolers or antennas are discouraged.
- 11) Exterior wall materials, trim and architectural details should be applied equally to all sides of buildings.
- 12) Garages should be creatively designed and located to minimize their visual presence. Alternative garage loading configurations are encouraged (i.e. rear lot garages, side loading garages, detached garages).
- 13) Architectural features such as porches, balconies, chimneys, door placement, window proportions, dormers, cupolas, wood detailing, fencing, siding and color scheme should all be carefully considered to complement the overall building design, site and neighborhood context.
- 14) Roofing and building colors should be soft earth tones (no reds) to minimize reflective glare and visual impacts.

3.3 Low Density Residential Designations

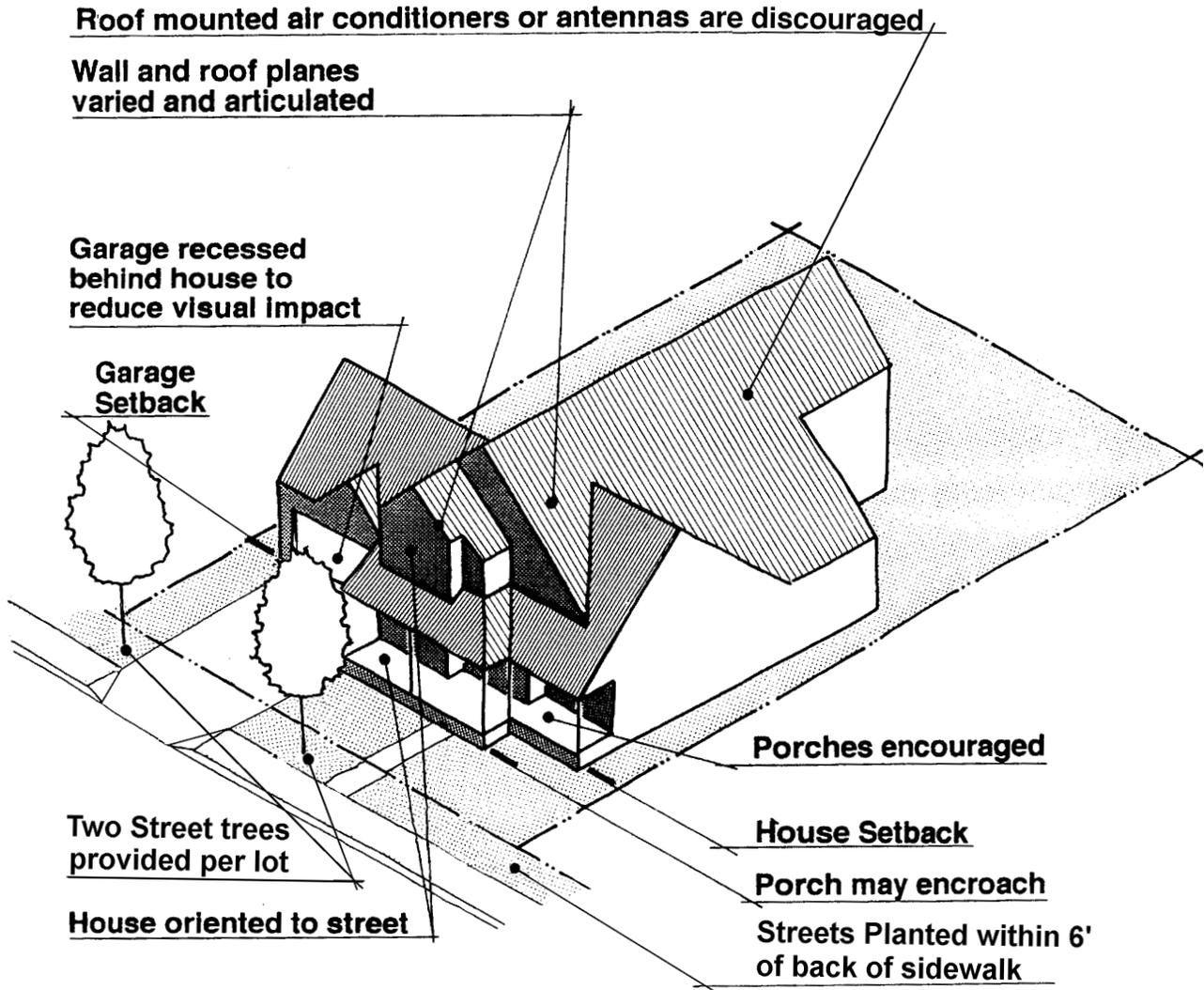
Single Family Residential - 5000 square foot minimum lot (LDR-5)

Single Family Residential - 8000 square foot minimum lot (LDR-8)

Single Family Residential - 10,000 square foot minimum lot (LDR-10)

The Low Density residential neighborhoods are envisioned with a combination of traditional and suburban residential qualities with a strong emphasis on overall neighborhood and community quality. Depending on the zoning district, neighborhood densities will range from 2 to 5.9 units per acre. Neighborhood densities are controlled by the Specific Plan and not by the minimum allowable lot size. These zoning districts are expected to accommodate “production housing” where housing styles and types are expected to be varied. Houses should orient living spaces and porches toward inviting tree lined streets (refer to Figure 3-2).

The character and quality of Low Density (LD) residential areas within the General Development Plan Area is highly dependent on the subdivision and street patterns. An open development pattern is necessary to create neighborhoods, which encourage pedestrian circulation, reduce auto dependency and foster interaction among neighbors. Open development patterns provide multiple through routes, centralized open space features, open ended cul-de-sacs, tree lined streets, and access to surrounding uses. This approach to neighborhood design fosters neighborhood unity and cohesiveness that form a community with a high quality life and a distinct identity. Neighborhoods will provide a sense of community by emphasizing parks, schools, pedestrian and bicycle circulation while de-emphasizing automobiles.



Alternative Garage Locations

- A. Corner Lot Side Loading**
- B. Standard Front Loading**
- C. Recessed Front Loading**
- D. Detached Front Loading**
- E. Side Loading**

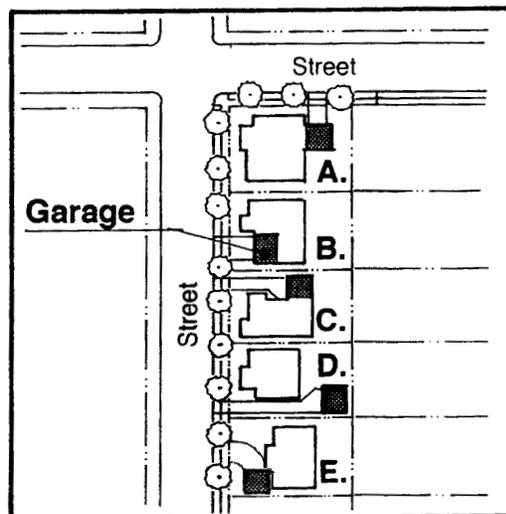


Figure 3-2

Policies

- 1) Dwelling units are encouraged to have an outdoor sitting area oriented to the street.
- 2) Garages should be encouraged to be set back behind the leading edge of the house.
- 3) Alternative garage loading configurations are encouraged (i.e. rear lot garages, side loading garage, detached garages).
- 4) The visual impact of garages and driveway aprons should be minimized.
- 5) Street trees are to be planted at regular intervals.
- 6) Houses should be oriented with living spaces, porches, windows and entries towards the street.
- 7) Exterior wall materials, trim and architectural details on front elevations should wrap a minimum of three (3) feet on side elevations. All elevations exposed to public rights-of-way should be architecturally enhanced
- 8) All utility and mechanical equipment should be screened from view. Roof mounted air conditioners, coolers or antennas are discouraged.
- 9) The size, scale, proportion, color, placement and detailing of architectural features such as porches, balconies, chimneys, doors/windows, dormers and fencing should carefully be considered to complement the overall massing and scale of the building.
- 10) Open street patterns, that create a network of circulation connections with multiple points of ingress and egress, are encouraged.
- 11) Parks, open spaces and schools should be located and designed as neighborhood focal points.
- 12) Walled and isolated residential enclaves are discouraged.
- 13) Use of cul-de-sacs should be minimized. Where feasible access from cul-de-sacs to open space features is encouraged (refer to Figure 3-3).
- 14) Roofing and building colors should be soft earth tones (no reds) to minimize reflective glare and visual impacts.
- 15) Fences should be located outside of Public Utility Easements or six (6) feet from back of sidewalk on side lot street fronting condition.

Encouraged

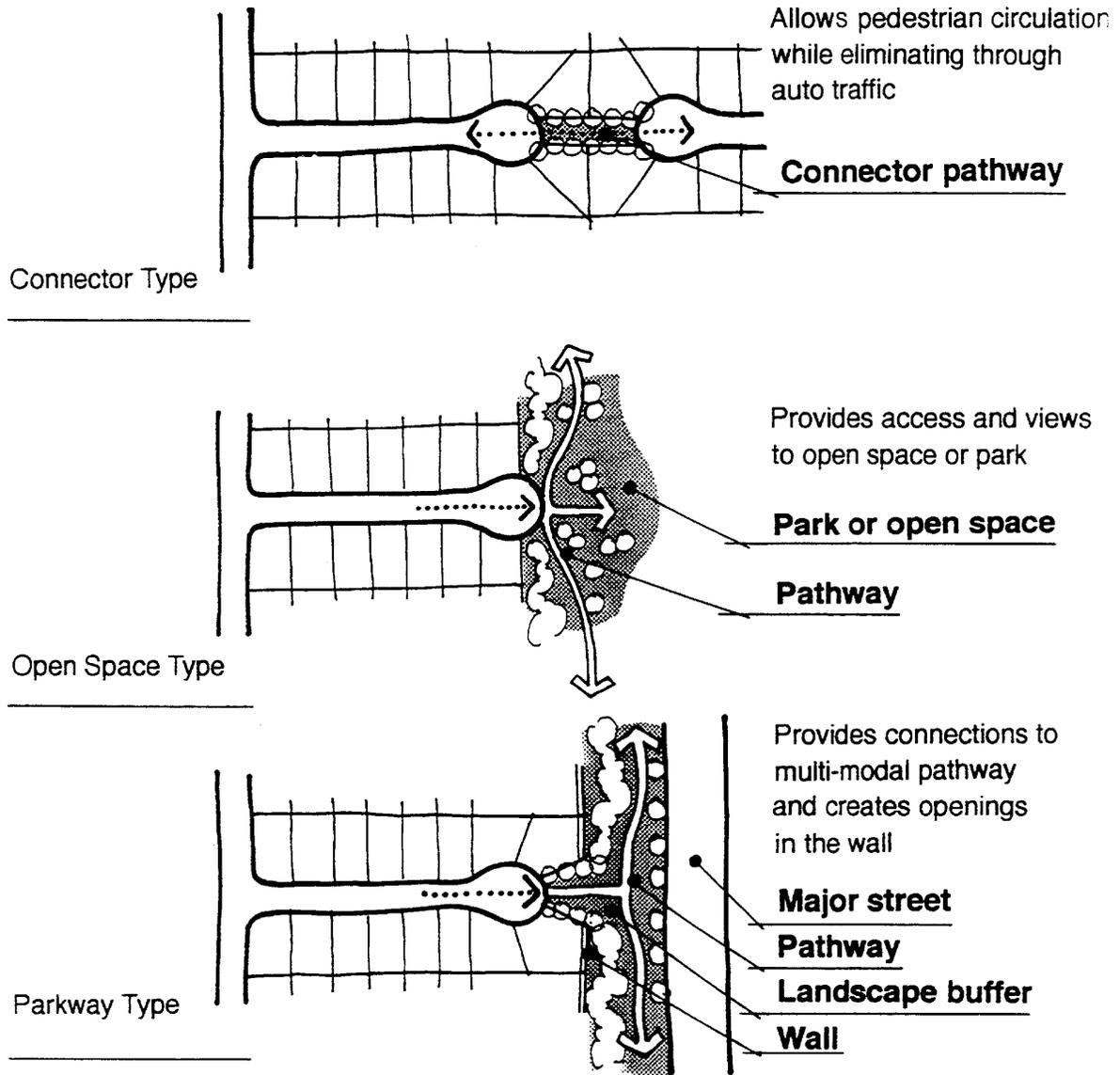


Figure 3-3

3.4 Medium Density Residential Designations

Medium Density Residential (MD-1)

The Medium Density (MD) residential land use designation is intended to provide affordable, family oriented neighborhoods by permitting a variety of creative detached and attached housing products. Allowable densities range from 6-12.9 units per acre. Density limits are established by the Specific Plan and the City's General Plan. The neighborhoods will provide a traditional residential approach characterized by detached homes with inviting porches and comfortable, shady streets. The strong sense of community will be enhanced by emphasizing connections to parks, schools, and pedestrian and bicycle pathways.

A variety of housing styles and approaches will give these areas a distinctive character. Creative lot designs, including, shallow-wide lots, and angled lots are permitted. Single family detached housing products will be similar to the Low Density residential areas but on a smaller scale and at higher density (refer to Figures 3-4 and 3-5). Careful attention to detail and architectural design will ensure these houses share the same character and qualities of larger lot homes. Detached patio homes, semi-attached courtyard houses and townhouse configurations are also encouraged in this district (refer to Figures 3-6 and 3-7)

Policies

- 1) Houses should be oriented toward the street with outdoor sitting space such as porches, balconies or courtyards.
- 2) Garages for detached housing products are strongly encouraged to be setback behind the leading edge of the dwelling. Garages are permitted with zero lot lines in rear and side yards, provided adequate distance is provided to adjoining units. (Refer to Chapter 2, MD-1 Standards).
- 3) Garages for attached housing products should be creatively designed and located to minimize their visual presence. Garages and car ports should load from parking courts, or internal parking lots. Alternative garage loading configurations are also encouraged (i.e., rear lot garages, side loading garage, detached garages). Street loading garages should be avoided
- 4) The design and character of all fencing and walls must be integrated into and complement the project design while providing adequate privacy and security.
- 5) All common areas, front yards, parking areas, and setbacks must be thoroughly landscaped.
- 6) Street trees are to be planted at regular intervals along all street frontage.
- 7) Building wall and roof planes should be varied and articulated into interesting forms that add richness and substance to the building.
- 8) All utility and mechanical equipment should be screened from view. Roof mounted air conditioners, coolers or antennas are discouraged.
- 9) Exterior wall materials, trim and architectural details on front elevations should be wrapped to side elevations a minimum distance of three (3) feet. Where elevations are exposed to public Right-of-Ways, they should be architecturally enhanced.

GENERAL DEVELOPMENT PLAN

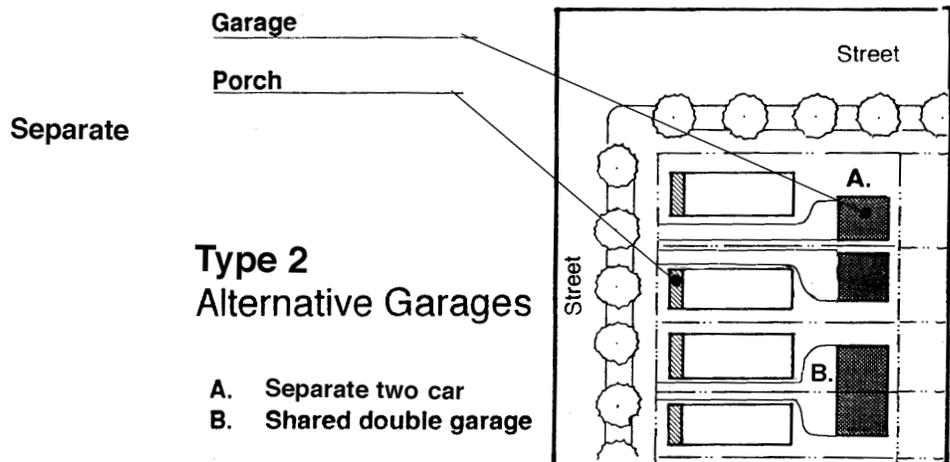
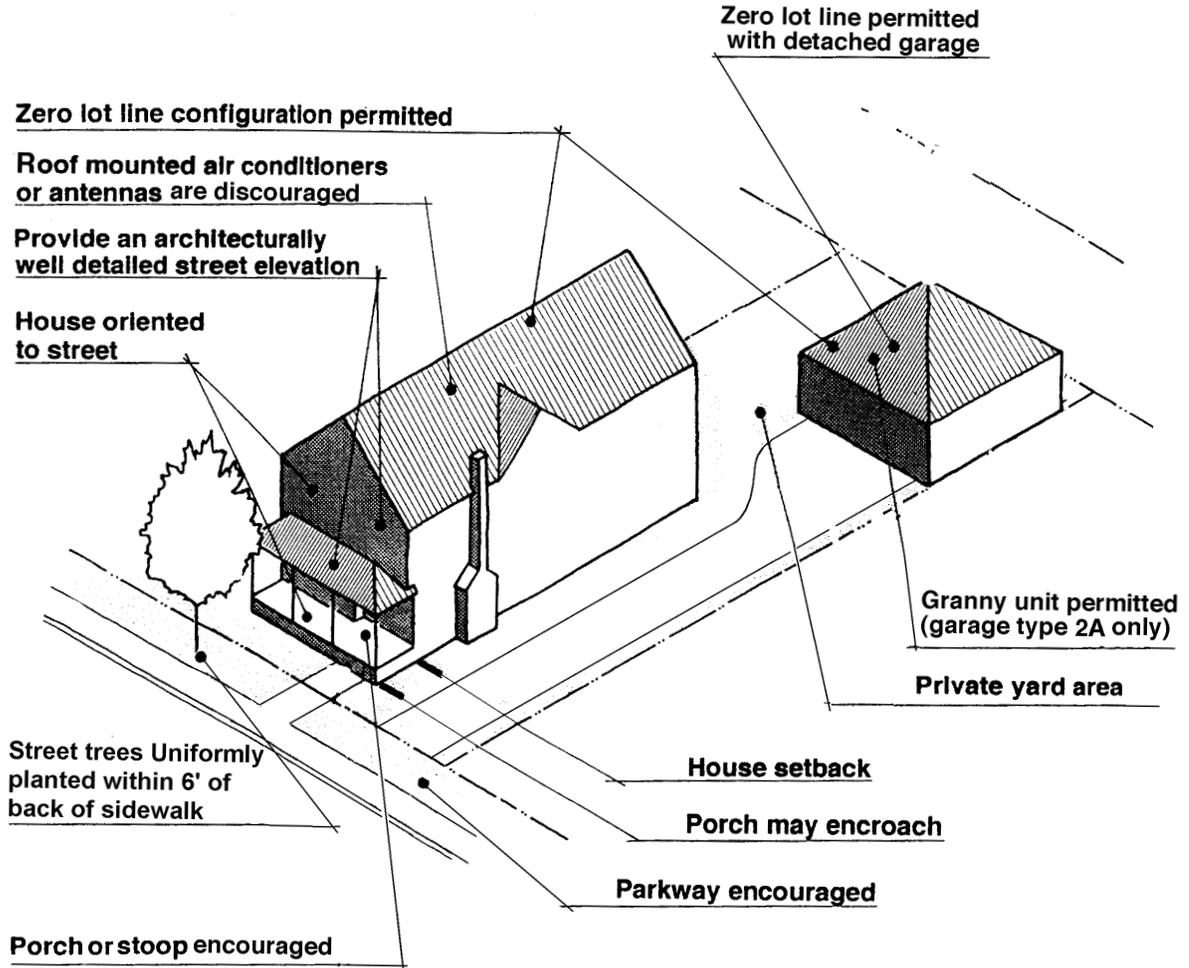
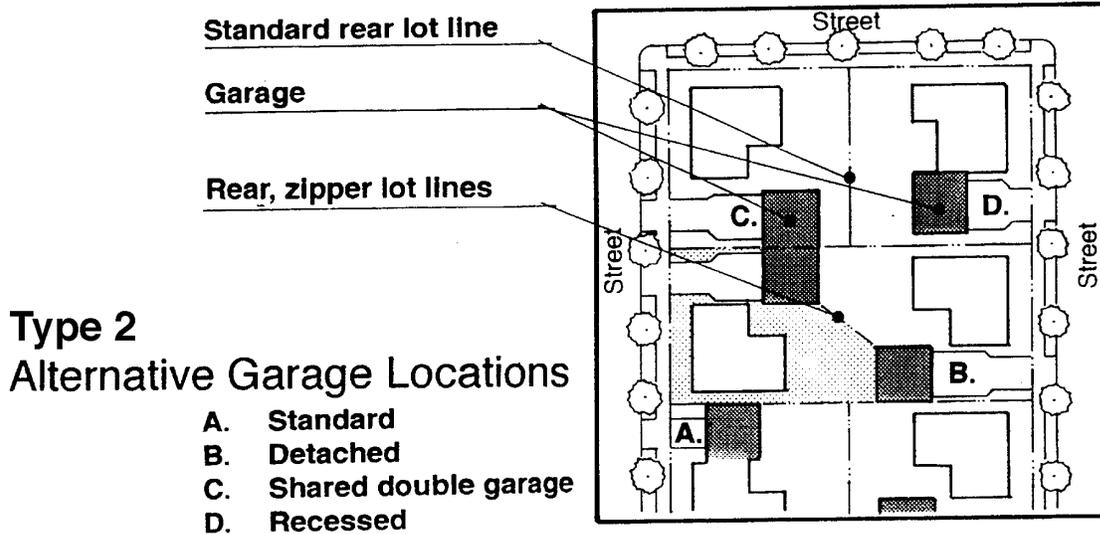
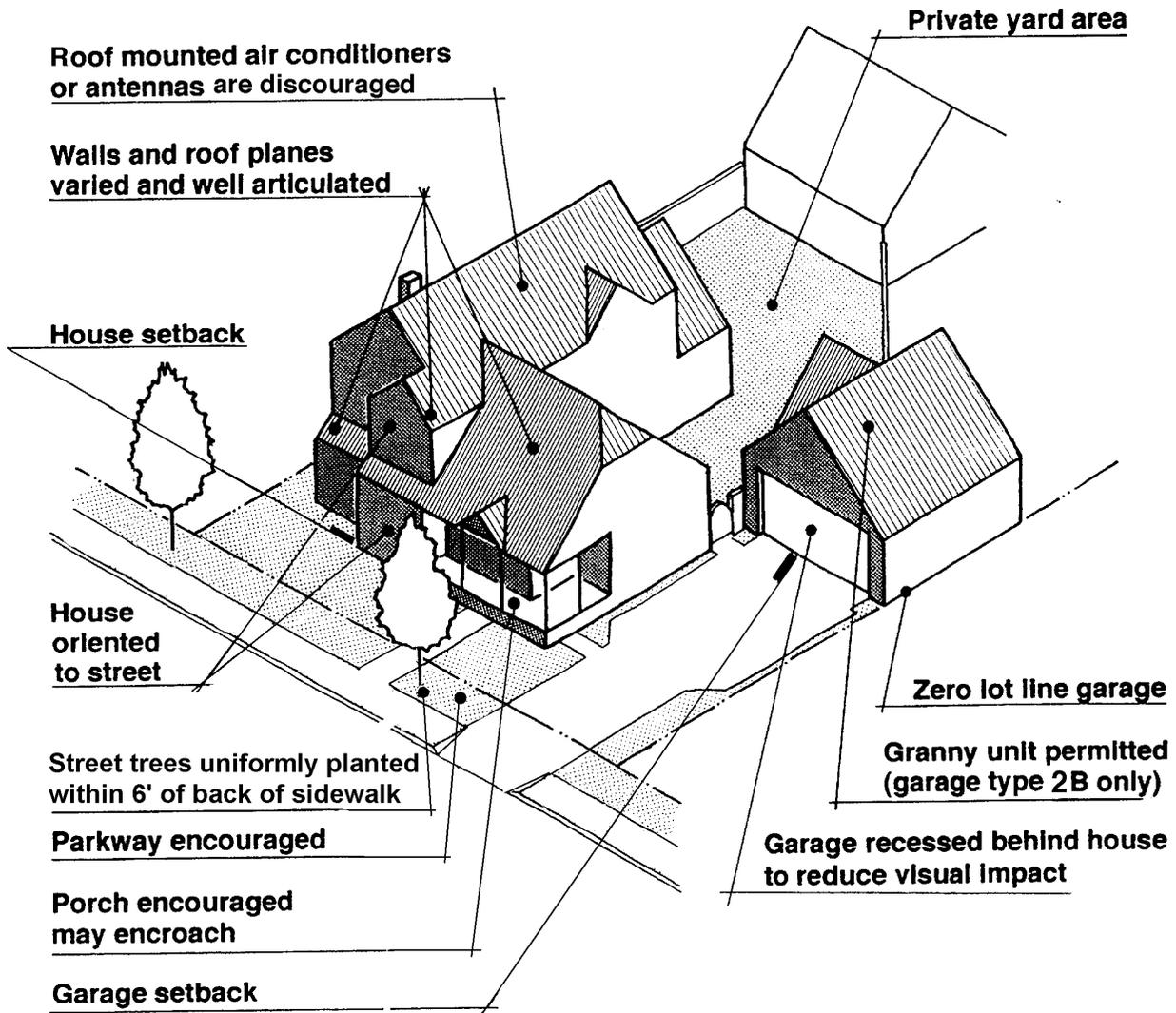


Figure 3-4



Type 2
Alternative Garage Locations

Figure 3-5
MD-1 Shallow Lot
Prototype

GENERAL DEVELOPMENT PLAN

- 10) The size, scale, proportion, color, placement and detailing of architectural features such as porches, balconies, chimneys, doors/windows, dormers and fencing should carefully be considered to complement the overall massing and scale of the building.
- 11) Porches, balconies, and/or courtyard type features are encouraged on attached housing products.
- 12) Two and three story structures are encouraged for attached housing products to provide variety in the building mass.
- 13) Open street patterns, that create a network of circulation connections with multiple points of ingress and egress, are encouraged.
- 14) Homes should front onto or side collector streets. Rear yards with walls should be minimized along collectors.
- 15) Parks, open spaces and schools should be located and designed as neighborhood focal points.
- 16) Walled and isolated residential enclaves are discouraged.
- 17) Use of cul-de-sacs should be minimized, unless used in connection with open space features (refer to Figure 3-3).
- 18) Use of “dead end” cul-de-sacs (cul-de-sacs with no physical outlet) should be discouraged.
- 19) Roofing and building colors should be soft earth tones (no reds) to minimize reflective glare and visual impacts.

3.5 High Density Residential Designations

High Density (HD-1)

The High Density (HD) land use designations are located within the Main Village in order to support the retail, transit and pedestrian activity. It is intended that the HD land use category accommodate many of the “affordable” housing opportunities within walking distance of job opportunities in the Employment Center and Commercial land use areas of the Main Village.

The HD plan areas will have a small town character, as opposed to a suburban character. The intent is to create neighborhoods which resemble the mixed use, historic neighborhoods found in historic small towns. Special attention will be focused on establishing a strong, street oriented relationship between dwellings and the public sidewalk and street, while diminishing the visual impact of automobiles and their associated parking areas. Use of house forward designs, with reduced front-yard setbacks and porches shall be encouraged to minimize the visual impact of garage doors and driveways within “compact” detached small-lot single-family projects. While on-street parking may be allowed with “compact” detached small-lot single-family projects, use of on-street parking on one side is allowed to minimize the visual impact of automobiles and their associated parking areas. Use of attached two-family single-family “Duet” housing units on corner lots within “compact” detached small-lot single-family projects is also allowed.

A wide range of dwelling types be encouraged under the (HD) designation. Product types may include a mixture of “compact” detached small-lot single-family, Alley-loaded/paseo, attached two-family, and attached multi-family dwelling units. Small lot detached dwellings with courtyard garages may be interspersed with a variety of street oriented multiplexes, townhomes and apartments (refer to Figures 3-6 and 3-7). Allowable density ranges are from 13 to 20 dwelling units per acre. The Specific Plan controls allowable density.

GENERAL DEVELOPMENT PLAN

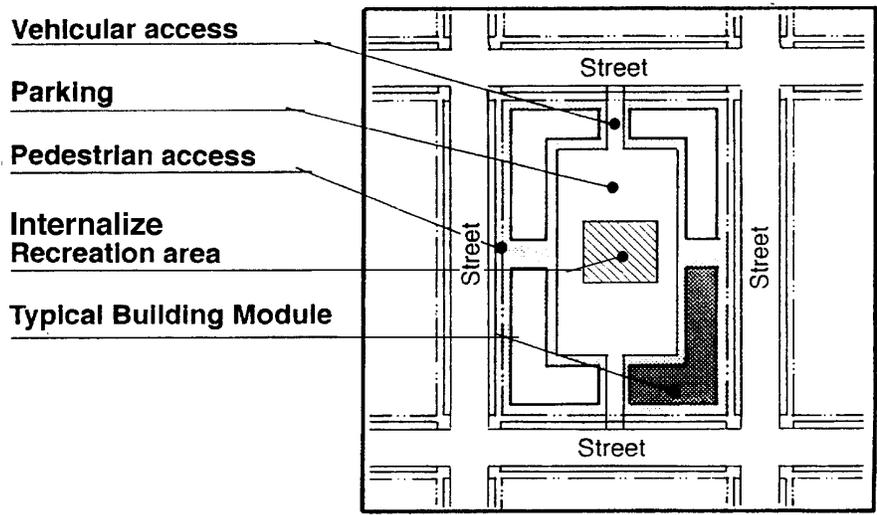
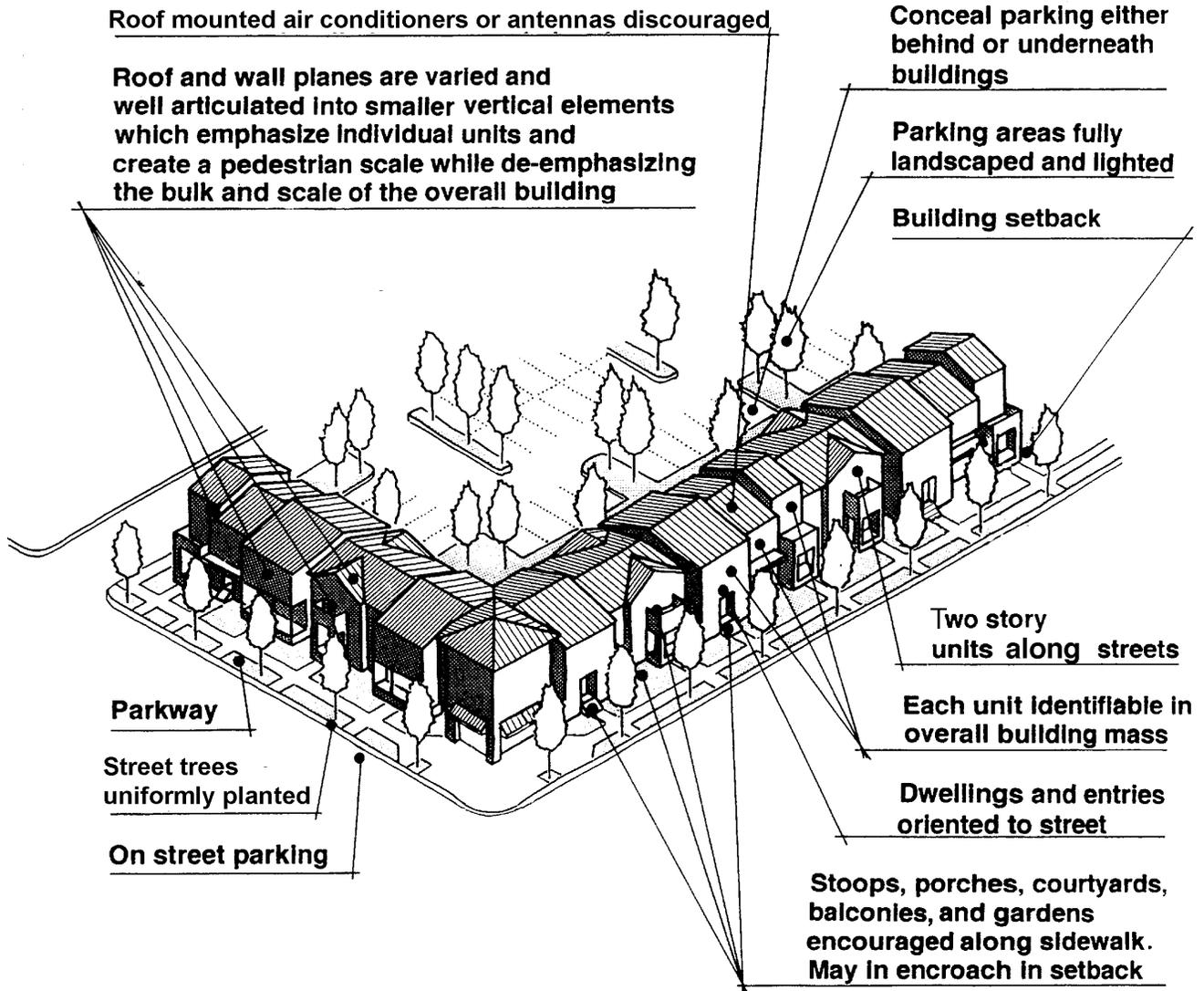


Figure 3-6

GENERAL DEVELOPMENT PLAN

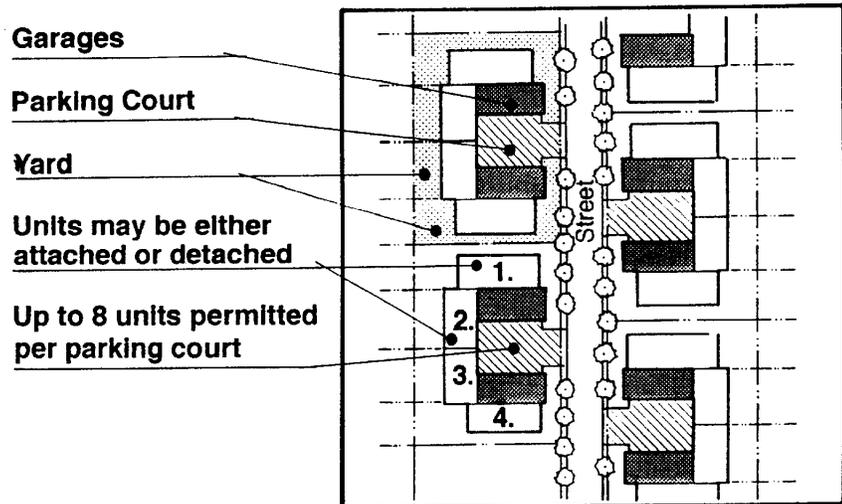
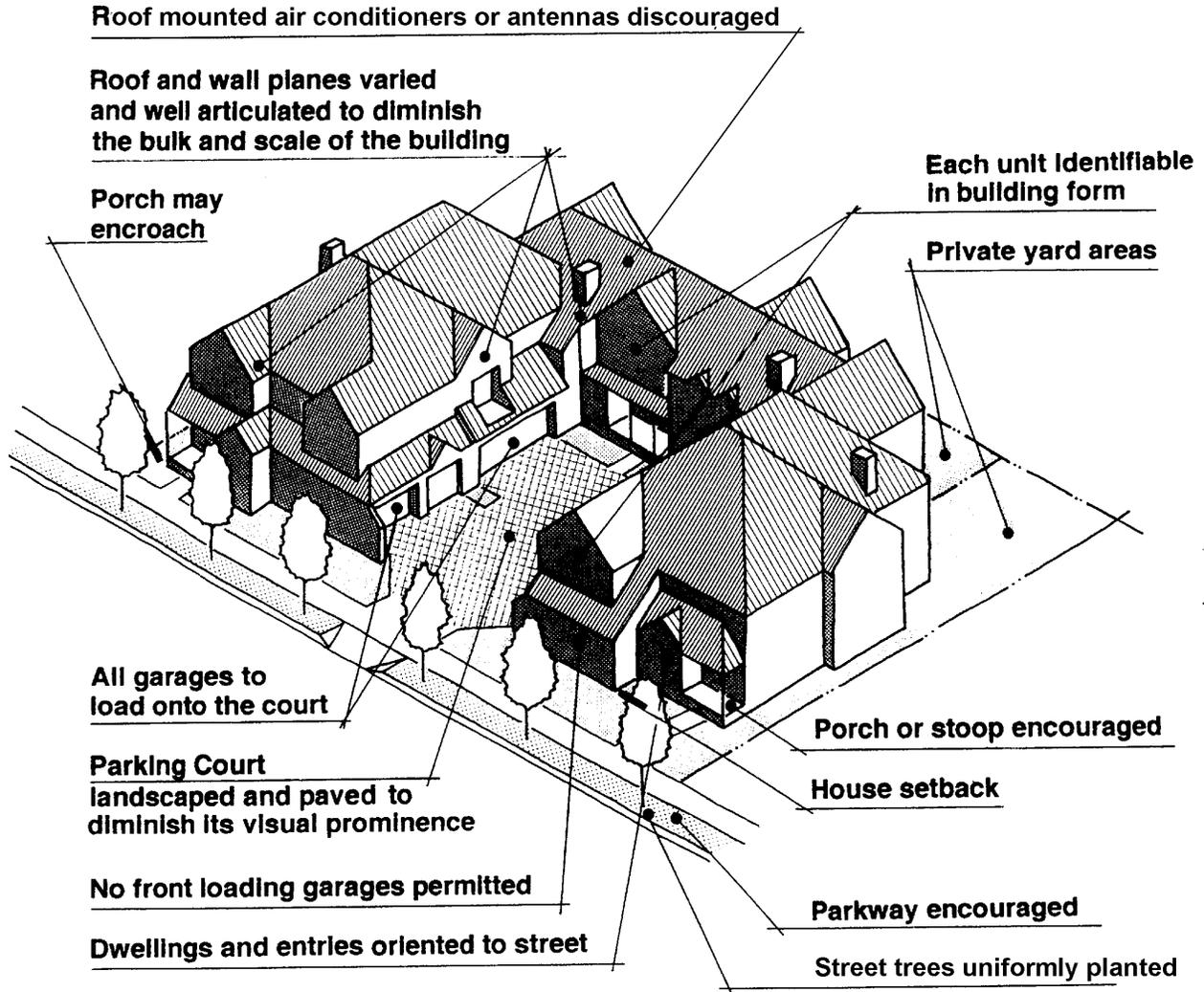


Figure 3-7

Policies

- 1) Buildings should provide detailed elevations along the street with parking, service, and utilities located away from the street.
- 2) Setbacks should assure units have a street presence and create a street environment that has human scale and is conducive to pedestrian circulation.
- 3) Landscaping should be used to create transitions between the street and dwellings and to buffer parking areas.
- 4) Street trees are to be planted at regular intervals.
- 5) Two and three story structures are encouraged to provide variety in the building mass.
- 6) Units should be oriented toward the street with stoops and porches.
- 7) Exterior staircases, breeze ways, landings, and project lighting must be carefully designed to maximize security by eliminating "indefensible spaces", hiding spots, dark passages, and areas which collect trash.
- 8) Building design should emphasize individual units and serve to reduce the overall massing and scale of multi-unit buildings.
- 9) The size, scale, proportion, color, placement and detailing of architectural features such as porches, balconies, chimneys, doors/windows, dormers and fencing should carefully be considered to complement the overall massing and scale of the building.
- 10) The visual impact of parking areas should be minimized by locating them behind buildings and away from the street. Where parking areas are not completely hidden behind buildings, low walls/fences with landscaping are encouraged.
- 11) Each unit should have a minimum of one covered parking space.
- 12) Parking should be either located behind or underneath buildings to minimize the visual impact.
- 13) Parking areas must be landscaped and lighted. Canopy trees are encouraged for shade.
- 14) Structures which cover parking spaces must be consistent with building design and complement the project's primary structures in color and/or materials.
- 15) On-street parking in front of units will be permitted as required parking provided they are not located on an arterial street.
- 16) Roofing and building colors should be soft earth tones (no reds) to minimize reflective glare and visual impacts.

3.6 General Commercial Designations

General Commercial (GC-1)

The General Commercial (GC) land use designation is located in the Main Village at the northwest corner of Lincoln Parkway and Twelve Bridges Drive. This land use designation accommodates the requirements of larger scale commercial centers requiring arterial access, ample parking and service requirements (refer to Figure 3-8). The secondary function of this area is to provide a retail anchor and activity hub for the adjoining village and its related uses.

GENERAL DEVELOPMENT PLAN

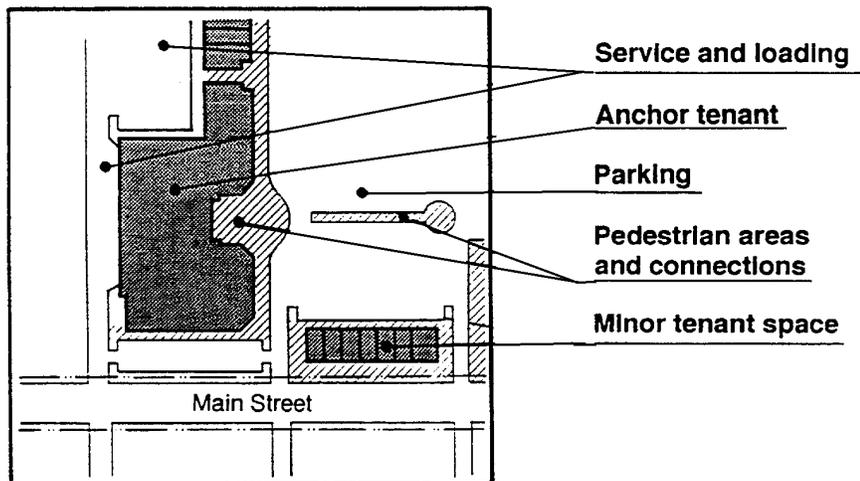
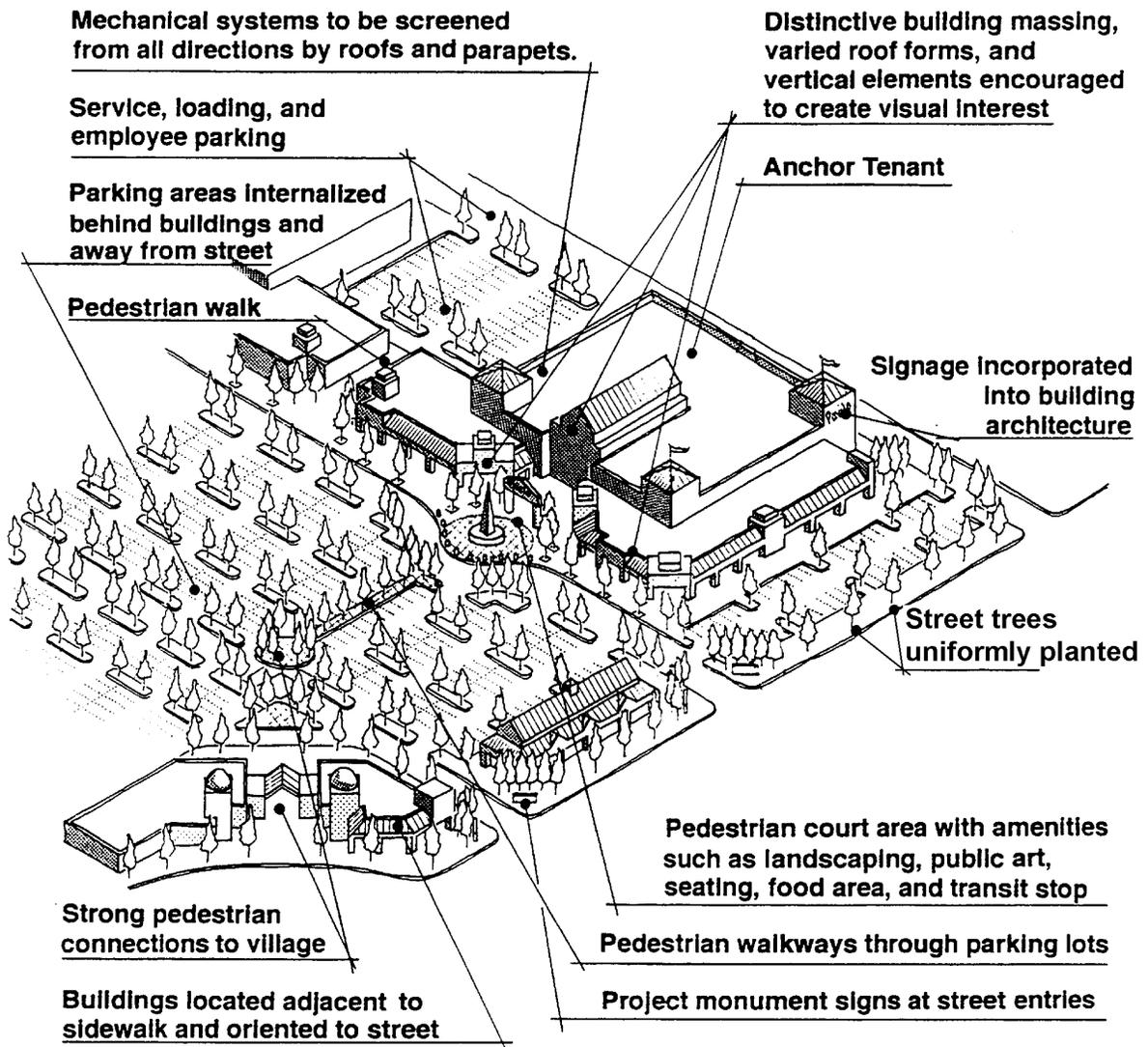


Figure 3-8

The General Commercial areas should be pedestrian oriented with strong circulation linkages to the adjacent village main street. Creative architectural designs, landscaping, pedestrian amenities and access to the surrounding village will make this commercial area an exciting and interesting gathering place. Visual impacts of large parking areas can be minimized by internalizing and landscaping. Large commercial users will be integrated with smaller users to reduce the scale of the large buildings.

Policies

- 1) Satellite Buildings are encouraged to be located around the perimeter of the site adjacent to sidewalks and intersections where feasible.
- 2) Buildings should be located adjacent to village streets to define the village street edge and encourage pedestrian circulation.
- 3) Storefronts, rather than blank walls, should adjoin sidewalks and pedestrian areas where buildings interface these areas.
- 4) Buildings must be designed for viewing from all sides.
- 5) Development should be consistent with the adopted Lincoln Downtown Urban Design Guidelines.
- 6) The mass of large anchor retailers should be reduced through the use of articulation, color and materials.
- 7) Articulation of building mass and variation of roof forms should be employed to reduce the apparent bulk and scale of buildings.
- 8) Pedestrian walks and pathways should provide logical linkages to surrounding sidewalks and connections through the parking lots to adjoining commercial and residential areas.
- 9) Pedestrian walkways are encouraged in parking areas.
- 10) Encourage internalized placement of parking lots behind buildings and away from surrounding streets.
- 11) Where possible, shared use parking facilities should be encouraged.
- 12) Parking areas should be thoroughly landscaped and shaded with trees.
- 13) Parking lots should be thoroughly lighted.
- 14) A generous landscaped buffer must be provided between all parking areas and streets.
- 15) Service and loading functions that face any street must be completely screened with dense landscaping and a combination of berms and masonry walls.
- 16) Street trees are to be planted at regular intervals.
- 17) A signage master plan shall be prepared for each commercial development.
- 18) Project signage should consist of monument type signs which complement the overall development and are consistent with the General Development Plan lighting guidelines (as set forth in Section 3.12) and the City of Lincoln's sign standards ordinance.
- 19) Individual tenant signs should follow a consistent design standard and be integrated into the building architecture and design.
- 20) Roofing and building colors should be soft earth tones (no reds) to minimize reflective glare and visual impacts.

3.7 Village Commercial Designations

Village Commercial (VC-1)

The Village Commercial (VC) land use designation is intended to provide pedestrian and leisure orientated commercial districts. The Village Commercial designation is based on the design principles of small downtown main streets. The intent is to create a lively pedestrian environment along the street where people will naturally choose to walk and stroll instead of drive. Sidewalks should be wide and shady with special attention given to paving, street furniture and lighting. The first floor should consist mainly of retail store fronts, restaurants and entertainment uses with awnings, pedestrian scale signs and interesting window displays along the sidewalk. Upper floors should be occupied by office, professional and residential uses. Parking, service and secondary access should be from behind the buildings (refer to Figure 3-9).

Village Commercial District Policies

- 1) Buildings should have a street presence and be located around the perimeter and corners of the blocks adjacent to the sidewalk.
- 2) Zero setback is required along sidewalks with the following exception: to create pedestrian plazas, create entries, articulate building mass, so long as the overall effect of storefronts along the sidewalk is not diminished. The intent is promotion of pedestrian activity along sidewalk frontages, while diminishing the visual impact of parking and service. This can best be established by creating a strong sense of place within the pedestrian zone which is best defined by the buildings along the sidewalk.
- 3) Buildings located on block corners should be more substantial, larger, taller and more ornate than mid-block buildings and feature elements such as clock towers, roof flags, turrets, and other landmark elements. At sidewalk level, buildings should incorporate plazas, public arts, sidewalk cafe areas and other pedestrian amenities where possible.
- 4) The street level component of the building should be comprised primarily of transparent store fronts. The upper floors should be a balance of recessed windows and solid spandrel areas. Balconies may be utilized where appropriate to create variety and rhythm.
- 5) Where applicable buildings should be articulated at the sidewalk level with building piers, pilasters, or columns that separate store fronts. These spacing elements should occur in intervals ranging from 15 to 30 feet on center.
- 6) Development should be consistent with the adopted Lincoln Downtown Urban Design Guidelines.
- 7) Building facades adjacent to sidewalks should be at least 25 feet high.
- 8) Buildings exceeding two-story should be stepped back and vertically articulated to reduce the buildings bulk against the street.
- 9) Heights between adjacent buildings should not vary by greater than one-story.
- 10) Buildings should not appear substantially taller, lighter, wider or more massive than neighboring buildings.
- 11) Blank wall areas should be minimized adjacent sidewalk areas.
- 12) Each building should have a defined base, body, and cap segment.
- 13) Village Commercial Character should be consistent with City of Lincoln Downtown Urban Design Guidelines.

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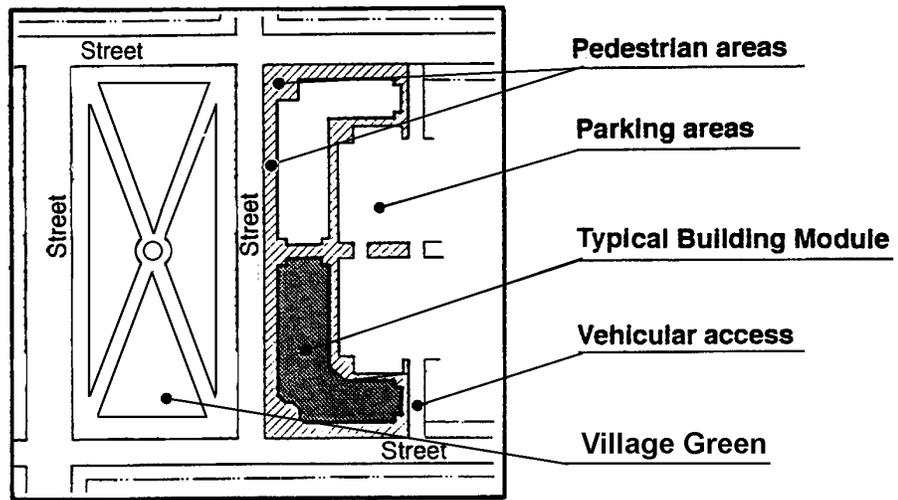
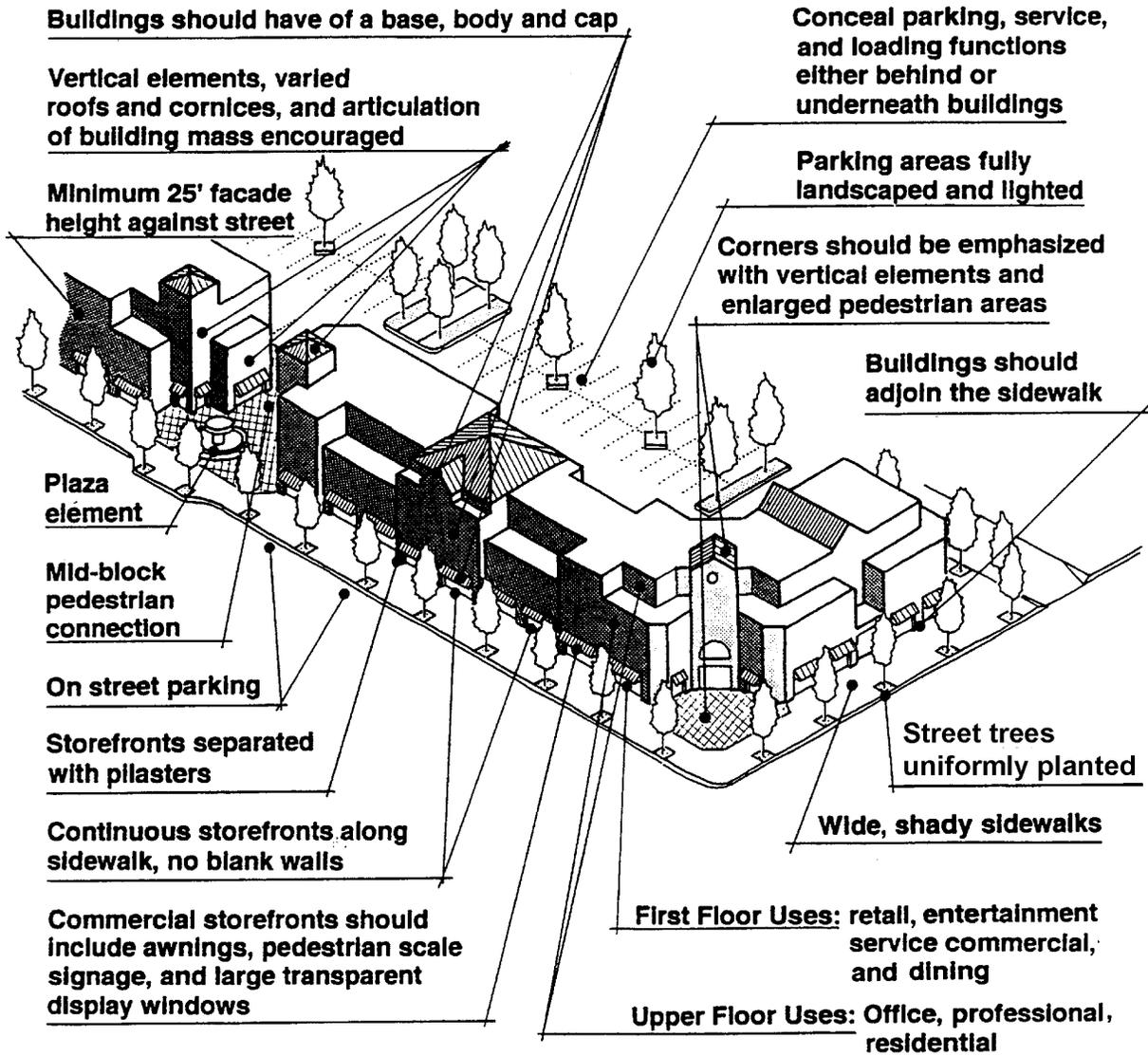


Figure 3-9

- 14) Roofing and building colors should be soft earth tones (no reds) to minimize reflective glare and visual impacts.
- 15) Store fronts should occur within consistent openings in the base of the building and not extend into the sign frieze or beyond the building string course.
- 16) Service and loading functions must be located behind the building.
- 17) Parking areas should be located behind buildings and away from the sidewalks. Parking areas must be landscaped and lighted. Where there are no buildings, parking must be screened by a low wall which serves to define the street edge at back of sidewalk.
- 18) Mid block pedestrian connections are encouraged between rear parking lots and the sidewalk. This connection is to be paved, lighted and landscaped consistent with the sidewalk and to be no less than 20 feet in width. Enhanced treatment is also encouraged (i.e. plaza, landscaping).
- 19) Sidewalks should be a minimum of 15 feet wide, with coordinated street furniture and paving.
- 20) Street trees are to be planted adjacent the curb and within sidewalks at regular intervals.
- 21) Coordinated awnings or shade canopies should be installed and coordinated with all store front openings. The awnings size should conform to the shape of the store front opening.
- 22) Each store front tenant shall have two signs attached to the building. The primary sign should be in the space above the store front and visibly oriented to the street. A second sign should be smaller and oriented to the passing pedestrian and extended out horizontally from the building facade. These secondary signs should include pictographs that reflect the nature of the business and be of a high quality.
- 23) Tenant signs should be appropriately scaled to the pedestrian environment.
- 24) Temporary banners, posters and hand painted signs and overly large signs that dominate a building facade are not permitted.
- 25) Additional minor signs are permitted in windows and on awnings provided these signs do not obstruct window displays and that the awning and window signs are permanent in nature and of a high quality.

Resort Commercial (RC-1)

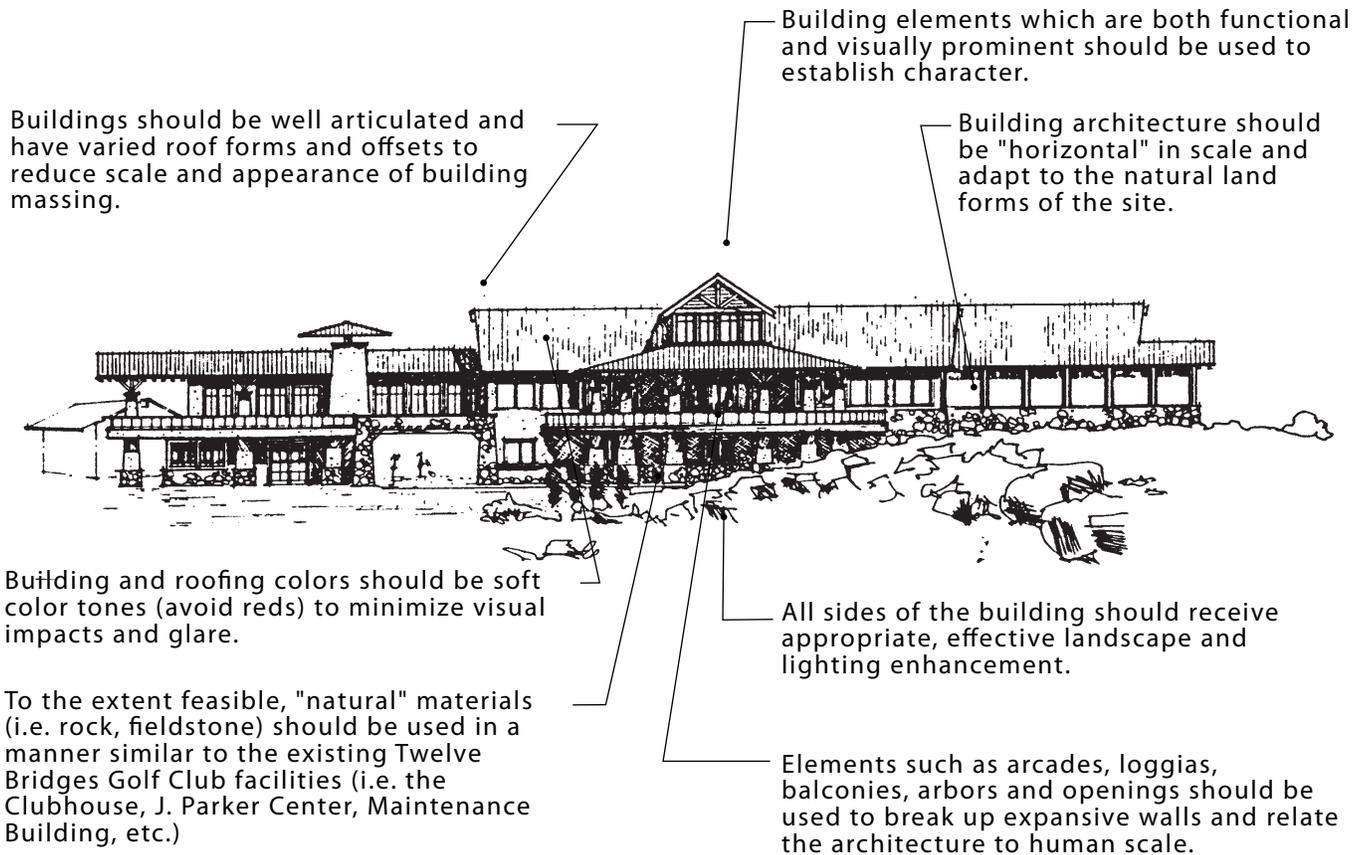
The Resort Commercial (RC-1) District is focused on providing hotel accommodations, restaurants, conference center, and specialty shops that cater to guests, business and residents of Twelve Bridges. Ancillary services such as financial institutions, professional offices and service stations would also be permitted in this district. Consistent with the VC-1 District, the intent is to create a lively pedestrian environment.

Resort Commercial Policies

- 1) Elements such as arcades, loggias, balconies, arbors and openings may be incorporated into the design to break-up the expansive use of walls.
- 2) All sides of the building should receive appropriate enhancement through the use of landscape treatments and accent lighting.
- 3) All buildings should relate to a human scale. Courtyards and outdoor gathering and eating areas are encouraged.
- 4) Varied roof forms and building offsets are preferred to singular monolithic forms. Offsets in wall lines reduce the mass of building walls, accent entry areas and create architectural interest.
- 5) Recessed doors and windows may be used for accent.

GENERAL DEVELOPMENT PLAN

- 6) All roof equipment shall be screened from public view. Service areas are to be separate and screened from public areas by the use of walls and landscaping as much as possible.
- 7) The buildings should be designed to conform with the natural slope.
- 8) Architectural building element which serve both visual and functional purpose should be utilized to establish character and landmark prominence (e.g., tower, porte-cochere).
- 9) Accent colored awnings should be utilized where appropriate, to create human scale and interest.
- 10) Courtyards, covered walkways and outdoor gathering/eating areas are encouraged to create a personnel, intimate atmosphere for visitors, guests and employees.
- 11) A pedestrian walkway and vista view points should be provided throughout the development to create pedestrian scale.
- 12) The innovative use of night lighting will add to the “resort“ character while minimizing light and glare (e.g., lighting of footpaths, fountains and other water elements, landscaping elements and the buildings themselves).
- 13) Large buildings such as a hotel should have articulated massing that conforms and replicates the natural landforms.
- 16) Varied roof forms and building offsets soften the massing effect and are recommend.
- 17) Roofing and building colors should be soft color tones (no reds) to minimize reflective glare and visual impacts.



3.8 Employment Center Designations

Employment Center (EC-1)

The Employment Center (EC) land use designation accommodates medium to large scale business, office, research and development and light manufacturing uses. The EC designations occur primarily between Highway 65 and the Main Village, and along Twelve Bridges Drive, west of Lincoln Parkway. This location provides access and visibility from the highway as well as proximity to high density residential, commercial land uses and the Community College site. EC is unique to the Twelve Bridges Plan Area A, and is also intended to allow for market flexibility by allowing retail commercial and shopping center uses.

Policies

- 1) The EC frontage along Highway 65 must present a consistent, quality image which reflects the Main Village's character.
- 2) Architectural character should convey visual connection to "Historic" Lincoln and be consistent with the City of Lincoln Downtown Urban Design Guidelines.
- 3) Buildings should be placed at the perimeter of the site and oriented either to village streets or towards Highway 65.
- 4) Buildings should provide strong pedestrian connections to sidewalk and trail system facilities.
- 5) Auto access points should be shared between smaller parcel sites (large individual tenants may have separate access points) in order to minimize driveway openings.
- 6) Each building should have a definable base, mid-body and cap element.
- 7) Buildings should be both horizontally and vertically articulated into interesting forms rather than a simple box.
- 8) Pitched roof elements are encouraged to accentuate key building features and elements.
- 9) All tenants signage should be incorporated into the architectural elements of the building.
- 10) Predominant use of monolithic glass curtain and glass banding of windows is discouraged from an aesthetic and light and glare perspective.
- 11) Loading and storage areas must be screened from public view including Highway 65.
- 12) Retail commercial and shopping center uses are subject to Policies 1-20 in Section 3.6, General Commercial Designations.

GENERAL DEVELOPMENT PLAN

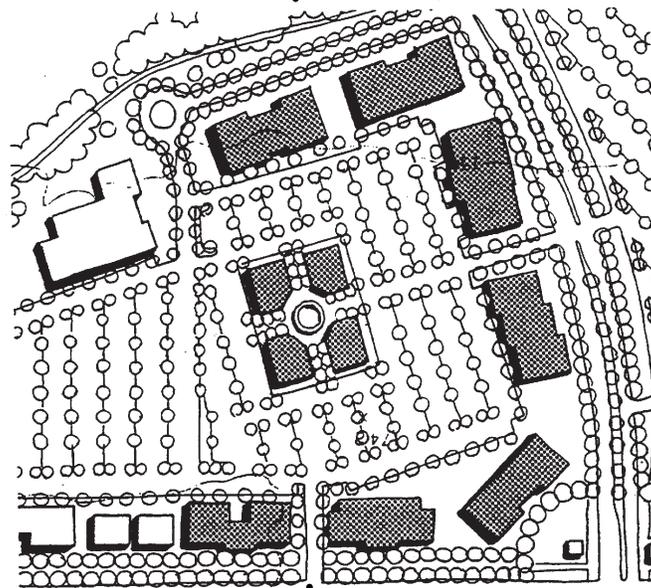
The design should be compatible with the historic character of the City of Lincoln, and be consistent with the City of Lincoln Downtown Urban Design Guidelines.



Buildings should be well articulated both horizontally and vertically.

Building orientation and location should encourage strong linkages to surrounding sidewalks and trail system facilities.

Buildings should be oriented where feasible to either the adjacent streets or Highway 65, at the perimeter of each building site, with the majority of parking internalized. Where parking areas are visible from the street, ample landscape areas / parking lot screen walls should be utilized (see Section 3.14 Type 7 fence.)



To minimize driveway openings on village streets, smaller tenants should share auto access points.

3.9 Open Space

Open Space - Recreation (OS-R)

Open Space - Conservation (OS-C)

Public Facilities (PUB-1)

The Open Space (OS) Land Use Designation described in Section 6 and 10 of the Twelve Bridges Specific Plan is intended to provide for a variety of different types of habitat conservation, public facilities and public recreation benefits. Within Plan Area A, the OS Land Use Designation includes landscaped open space, the Twelve Bridges Golf Course, public parks, the environmental learning center, and habitat conservation and enhancement areas (refer to Figure 3-12).

Three zoning categories are permitted within Plan Area A under the OS Land Use Designation in Plan. The three zoning categories are Open Space-Recreation (OS-R), Open Space-Conservation (OS-C) and Public Facilities (PUB-1).

3.9.1 Open Space-Recreation Zone (OS-R)

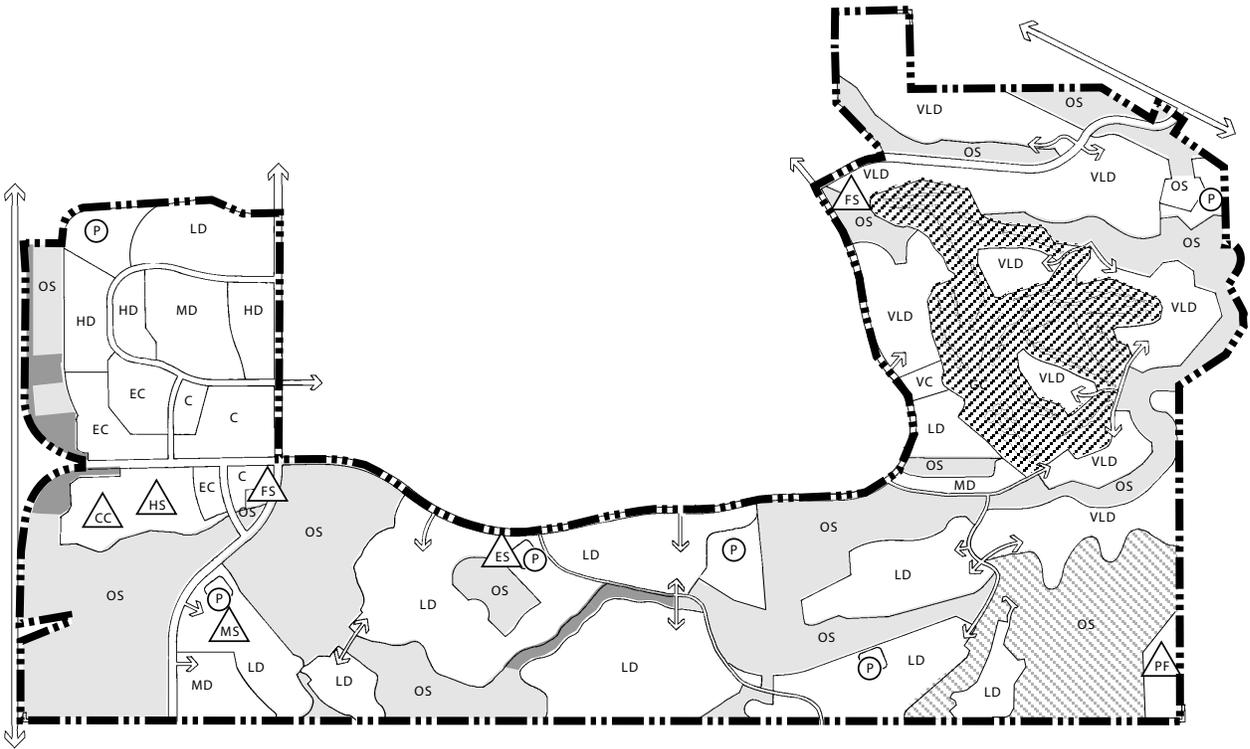
The OS-R zone accommodates a variety of open space and recreational uses and improvements. Permitted uses within this District would include landscaped open space, public parks and the Twelve Bridges Golf Course and ancillary features, and pathway and trail system. Buildings and structures that either support or are compatible with these open space uses are permitted within this zone.

A number of public parks are planned within Plan Area A. An active community park will be developed in the “Main Village” Community District. The Southern Valley Community District includes 1 passive community park and 3 neighborhood parks. The Ridge Community District will include one neighborhood park. The Oaks District includes one passive community park (refer to Figure 3-13). The table below shows the improvements appropriate for each of the proposed park sites.

Table 3-1 Proposed Park Improvements

Proposed Park Improvements:	X - Recommended				✓ - Optional			
	1	2	3	4	5	6	7	
Park Site	1	2	3	4	5	6	7	
Park Acreage	21.8	6	3	14.11	3	3	11.17	
Park Facilities								
• Off Street Parking	X	✓		✓			✓	
• Bike Parking	X	X	X	X	X	X	X	
• Restrooms	X	✓		✓			✓	
• Children’s Play Equipment	X	X	X	✓	X	X	✓	
• BBQ/Picnic Area	X	✓	✓	X	✓	✓	X	
• Pool	✓							
• Walk/Security Lighting	X	X	✓	X	✓	✓	X	
• Sport Field Lighting	X							
• Fields for Organized Sports	X	X	✓		✓	✓		
• Informal Grass Area	✓	X	X	✓	X	X	✓	
• Ball Courts	X	✓	✓		✓	✓		
• Hiking/Biking Trails	✓	✓	✓	X	✓	✓	X	
• Interpretive Exhibits	✓			X			X	

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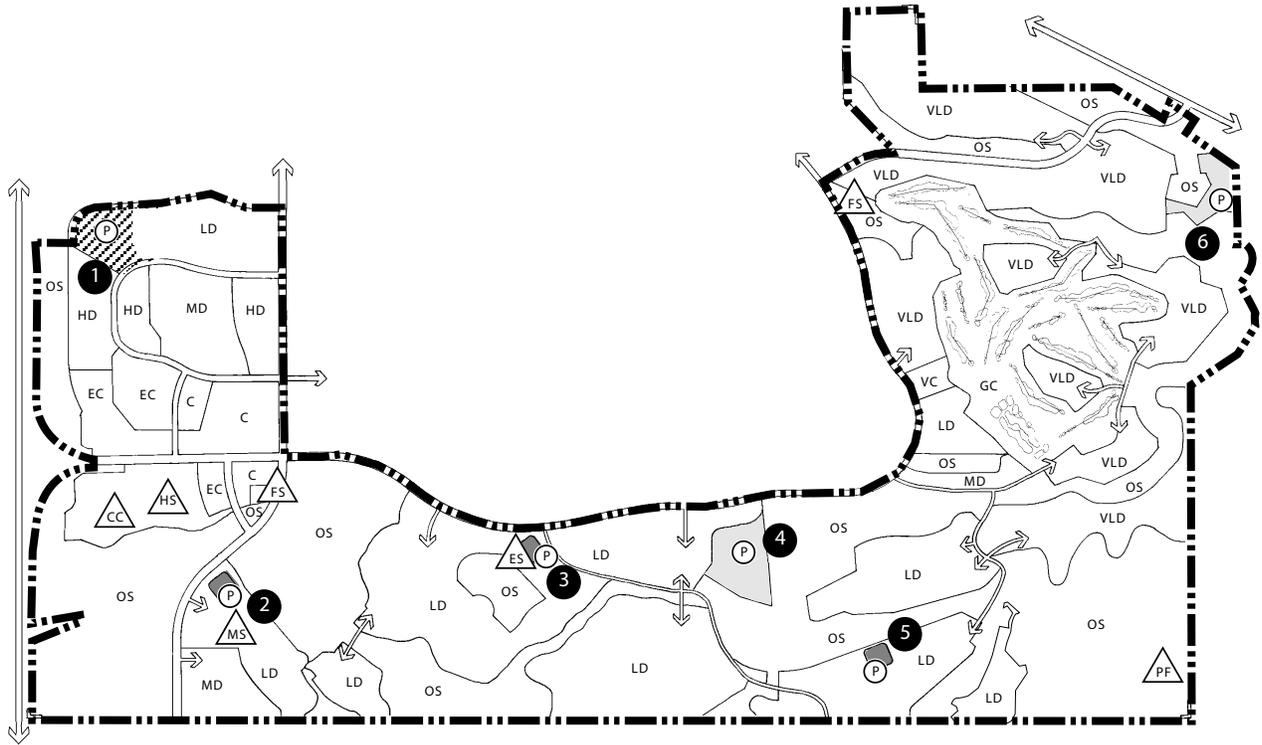
Legend

-  Landscaped Open Space
-  Golf Course
-  Parks
-  Habitat Protection / Undeveloped Open Space
-  Environmental Learning Center
-  Plan Area Boundary



Figure 3-12
GENERAL DEVELOPMENT PLAN
Open Space Diagram

GENERAL DEVELOPMENT PLAN



Parks Table

Park Type	Acreage
1 Active Community Park	18.5 ac
2 Neighborhood Park	6 ac
3 Neighborhood Park	4.8 ac
4 Passive Community Park	14.8 ac
5 Neighborhood Park	2 ac
6 Passive Community Park	11.2 ac
Total Acreage	58.28 ac
Total Acreage Required	58.28 ac

Legend

-  Active Community Park
-  Passive Community Park
-  Neighborhood Park
-  Plan Area Boundary

NOTE: All Neighborhood Park sites are "floating" locations. Specific sites will be established with Tentative Mapping / Specific Development Plan.



Figure 3-13
GENERAL DEVELOPMENT PLAN
Parks Diagram

The 21-acre active community park/sports complex within the Main Village will serve as a focal point of activity for the residents of Twelve Bridges and as a regional draw for both organized sports and passive recreational. The community park may also include facilities that support community activities such as a public library or community center.

The neighborhood parks identified in the Southern Valley and The Ridge Community Districts are not fixed locations. Rather, they are “floating” park sites that will be integrated into neighborhoods to create community focal points and greens. Both the passive community parks and the neighborhood parks are to serve the needs of residential neighborhoods by either providing play facilities or passive green space, or a combination of both. Parks will take advantage of the natural features such as, oak woodlands, rocky bluffs, and views afforded at the site.

A unique site within the OS-R zone is the Southeast corner of the Plan Area. The designated use of this area is not a “traditional” recreational open space use, but fits the category well. Over 153 acres have been designated for use as an Environmental Learning Center. This use will be implemented by Western Placer School District. Uses may include agricultural, horticultural, equestrian facilities, animal husbandry and other uses associated with the Environmental Learning Center concept. This concept is in the inception stages as a part of Western Placer School District’s “Project Build” program.

Improvements within this area will be limited to minimize disturbance to sensitive biological habitat and cultural resources found in this area. Improvements permitted include educational facilities, community center, trails and ancillary improvements that promote education and community involvement. Because of the potential for Agricultural business and learning opportunities, animal boarding and grazing is also permitted subject to restrictions for environmental protection.

3.9.2 Open Space-Conservation (OS-C)

The OS-C zone is intended to accommodate a mixture of limited recreational, and habitat preservation and enhancement uses. Permitted within this zone are passive recreational facilities such as trail systems, nature exhibits or natural park areas. Animal grazing is also permitted when allowed by permitting agency (e.g., Army Corps of Engineers). Also addressed within this zone are habitat preserve and enhancement areas which include stream corridors, vernal pools, wetlands, hillside slope areas and other sensitive biotic habitat. Any development, structures, improvements or grading within this district will be restricted and permitted based on minimizing the level of impact to natural features and habitats.

In addition to the ecological function of the habitat preserves, this zone also creates natural, open space buffers, which separate neighborhoods, and land uses. This separation minimizes land use conflicts and establishes neighborhood identification and a sense of community. The outside perimeter of the preserve areas may be landscaped with a combination of native and ornamental species to create a blended

transition from developed areas to natural open space. Within the preserves, habitat enhancement projects will occur utilizing native plant species.

3.9.3 Public Facilities (PUB-1)

The PUB-1 zone is established to provide for public facilities such as schools, fire stations, and other community facilities. Sites zoned specifically include a community college and a middle school site. Other potential public facilities are undesignated, but are considered consistent with the underlying zone and land use (e.g. elementary school sites, fire stations, etc.).

Land uses in the plan consistent with the PUB-1 zone include the elementary school sites (20 acres), community college/high school site (62 acres), middle school site (15 acres), and water treatment facility (20 acres).

3.9.4 Objectives and Policies

Objective

Preserve and enhance a system of significant open spaces throughout Plan Area. A.

Policies

- 1) Open space areas shall be provided consistent with the Open Space Diagram, Figure 3-12.
- 2) All open space areas shall be zoned either OS-R, OS-C or PUB-1, consistent with the Plan Area A General Development Plan Standards.

Objective

Ensure open space areas are landscaped and maintained in a manner that enhances the overall project image and appearance.

Policies

- 1) Open space areas may include perimeter landscaping and fencing that creates a pleasing appearance with natural transitions from developed areas to open space preserves
- 2) A landscape corridor shall be provided along the entire length of Twelve Bridges Drive and Lincoln Parkway. The landscape corridor shall be a minimum of 30-foot wide on each side of the street measured from the outside edge of the curb except where adjacent land use is natural open space.
- 3) All fencing shall be installed consistent with the standards and policies contained herein (refer to Section 3.14, Walls and Fencing).

Objective

Protect and conserve in perpetuity the habitat value of sensitive open space areas and wetlands.

Policies

- 1) All open space improvements and landscaping shall conform with adopted Natural Resources Management Plans, including Wetland Mitigation Plans.
- 2) All wetlands avoided and/or preserved in perpetuity shall be dedicated to the City of Lincoln and preserved through a perpetual covenant, enforceable by the City, to ensure their maintenance and survival. With respect to areas dedicated to the City of Lincoln, acceptance shall be conditioned upon establishment of a lighting and landscaping district or other public or private funding mechanisms acceptable to the City.
- 3) Fencing and signage shall be provided around all open space districts adjacent to urban improvements (e.g., residential, commercial, roadway, trail).

Objective

Protect all sensitive open space areas from the impacts of adjacent irrigation and development.

Policies

- 1) Adjacent land uses shall be planned and designed with adequate drainage discharge points to ensure that untreated rainwater runoff from development and construction activities does not adversely affect preserved or compensation wetlands.
- 2) Irrigation and/or surface water runoff shall be prevented from flowing into vernal pools.
- 3) In areas where wetland preserves abut areas of irrigated turf, earthen berms or grass-lined swales shall be constructed as appropriate at the margins of the turfed areas and upland buffers.
- 4) Construction and grading activities in and around sensitive habitat areas shall utilize Best Management Practices to minimize impacts.

Objective

Provide adequate parkland and recreational facilities to meet the needs of all residents.

Policies

- 1) All active and passive parks shall be designated OS-R.
- 2) A minimum of five (5) acres of parkland shall be provided for each 1000 residents throughout the project consistent with the approved specific plan for Plan Area A.
- 3) Neighborhood parks should be a minimum of three (3) acres in size.
- 4) Community parks (active and passive) shall be a minimum 10 acres in size and be located in prominent sites to provide community focal points and landmarks..
- 5) The City shall provide park credit for all facilities improved consistent with the Specific Plan.
- 6) Park design should incorporate passive and recreational features that meet the needs of residents of all ages, abilities, and interests.
- 7) Parks should adjoin public streets, open spaces, or public facilities where feasible.
- 8) All parks should be connected to neighborhoods by either sidewalks and/or non vehicular pathways.
- 9) Community parks should provide adequate off-street parking to serve the recreational amenities provided. Neighborhood parks are intended to serve local neighborhood residents. Therefore, off-street parking is not required.

Objective

Maximize the design efficiency and safety of all park designs.

Policies

- 1) Parks should be designed and landscaped for easy maintenance and irrigation efficiency.
- 2) All site furniture and structures should be selected based on durability, vandal resistance and long term maintenance — consistent with the community character of the District in which the park is located.
- 3) Native plants should be utilized when possible.
- 4) Lighting should be provided as necessary to maintain minimum levels of illumination. All lighting shall be consistent with the City of Lincoln standards and lighting guidelines set forth in Section 3.12 of this GDP.
- 5) Landscaping, walls, berms, lighting, and buildings should be carefully designed to minimize hiding spots, indefensible spaces, and other areas that may create safety and policing problems.
- 6) Free standing restrooms should be provided only when absolutely necessary. Restrooms should be combined with other recreational or public facilities if possible.
- 7) Parks should be designed to maximize visibility for streets or access roads.

3.10 Circulation

The Twelve Bridges Specific Plan Circulation Element establishes a hierarchy of streets to serve the circulation needs of the project. This hierarchy of streets is further refined to safely and efficiently serve the needs of Plan Area A.

Figures 3-14, Circulation Diagram and 3-15, Non-Auto Circulation Diagram identify the general locations of the street and trail sections, respectively described in Table 3-1. Table 3-1 includes street classifications that correspond to and are consistent with the adopted Twelve Bridges Specific Plan. Table 3-1 also includes other street classifications not previously identified in the Twelve Bridges Specific Plan. The additional street classifications have been specifically included to serve Plan Area A development specifically.

Table 3-2 Street Classifications

Street Classifications	Applicable Street Sections
Six-Lane Arterial	Twelve Bridges Drive West of Street "A"
Four-Lane Arterial	Twelve Bridges Drive, Lincoln Parkway, Street "A"
Two-Lane Arterial	Twelve Bridges Drive
Major Collector	Streets "B", and "C"
Standard Collector	Street "D" & 31B
Village Commercial	Village Commercial Streets
Local Residential Street	Low Density Residential Streets
Hillside Lane	Estate Residential Streets
Emergency Access Road	Limited
Pathways and Trails	Open Space Areas

The ultimate interchange at Twelve Bridges Drive and State Route 65 is important to overall project circulation. A partial-cloverleaf interchange is recommended to best serve the project demand. However, an interim at grade access may suffice for the initial project phases which will be defined in the project Development Agreement(s).



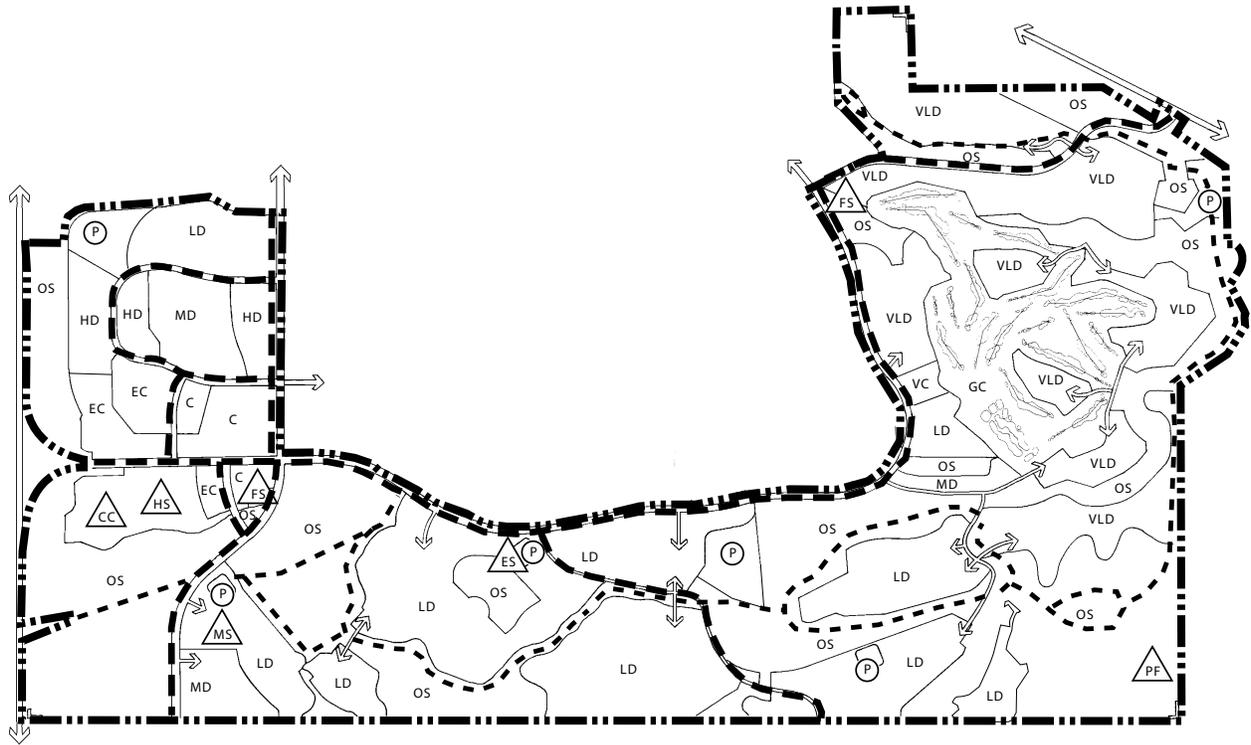
Legend

	Highway 65		Major Collector		Interim At-Grade Project Access Route
	Six Lane Arterial		Village Commercial Streets		Freeway Interchange
	Four Lane Arterial		Local Streets		Emergency Access Road
	2-Lane Arterial		Hillside Lanes		Signalized/Controlled Intersection
	Standard Collector		Plan Area Boundary		

NOTE:
 • See Table 3-1 for further clarification
 • Additional signalization may be required at localized areas



GENERAL DEVELOPMENT PLAN



Legend

-  Class II Bike Lane
-  Trail Network
-  Plan Area Boundary

NOTE: All arterials and collectors have pathways incorporated into adjoining landscape corridors. Trail locations are conceptual only. Specific trail alignment will be established with Project Improvement Plans.



Figure 3-15
GENERAL DEVELOPMENT PLAN
Non-Auto Circulation Diagram

3.10.1 Arterials

Plan Area A is served by a network of arterials —Twelve Bridges Drive, Lincoln Parkway, and Streets “A”, “B” and “C”. Access points, intersection stops, and turning movements will be minimized along these arterials. Where intersections do occur, additional turn lanes will be provided, as required, to minimize delays in traffic flow. Parking along arterials will be prohibited.

Six-Lane Arterial

Twelve Bridges Drive from the interchange at Highway 65 to Street “A” will be constructed to a six-lane arterial standards. The six-lane arterial standards include 3 travel lanes and 7-foot wide bike lane in each direction, 18-foot wide landscape median, and a minimum 30-foot wide landscape corridor on each side. The six-lane arterial requires a minimum of 108 feet of right-of-way (refer to Figure 3-16) with 30 foot landscape easements on each side for a total section of 168-feet.

Four-Lane Arterial

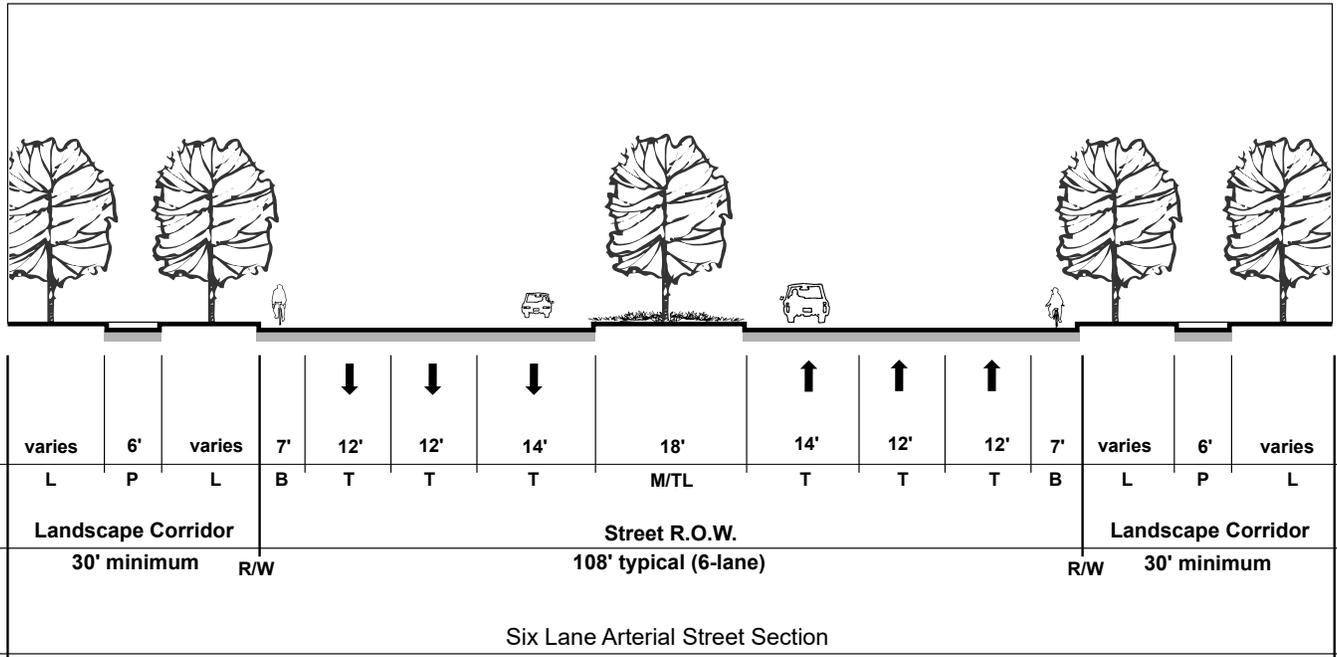
Five street sections within Plan Area A will be developed as four-lane arterials. These street sections include Twelve Bridges Drive, east of Street “A” to Street “D”, Lincoln Parkway, and Street “A”, north of Twelve Bridges Drive.

The four-lane arterial standards include 2 travel lanes and a 7-foot to 7 foot bike lane in each direction with a 14-foot wide landscape median. The four-lane arterial also includes a minimum 30-foot wide landscape corridor along each side of the road. A four-lane arterial requires a minimum of 80 feet of right-of-way with 30-foot landscape corridor easements on each side for a total section of 140-foot section (refer to Figure 3-17).

Two-Lane Arterial with Median

The majority of Twelve Bridges Drive will be constructed to a two-lane arterial street section. The standards of a two-lane arterial include one travel lane and bike lane in each direction. A landscaped parkway with street trees and a pedestrian path will be provided on only one side of the roadway. On-street parking should be restricted. The two-lane arterial requires a minimum of 40 feet of street right-of-way with a minimum 30’ landscape corridor easement on one side of the road section for a total of 70’-100’ of total street section (refer to Figure 3-18). The right-of-way for Twelve Bridges Drive allows for expansion to a four-lane arterial per Figure 3-17.

GENERAL DEVELOPMENT PLAN



Location

- Twelve Bridges Drive from Highway 65 to Street A

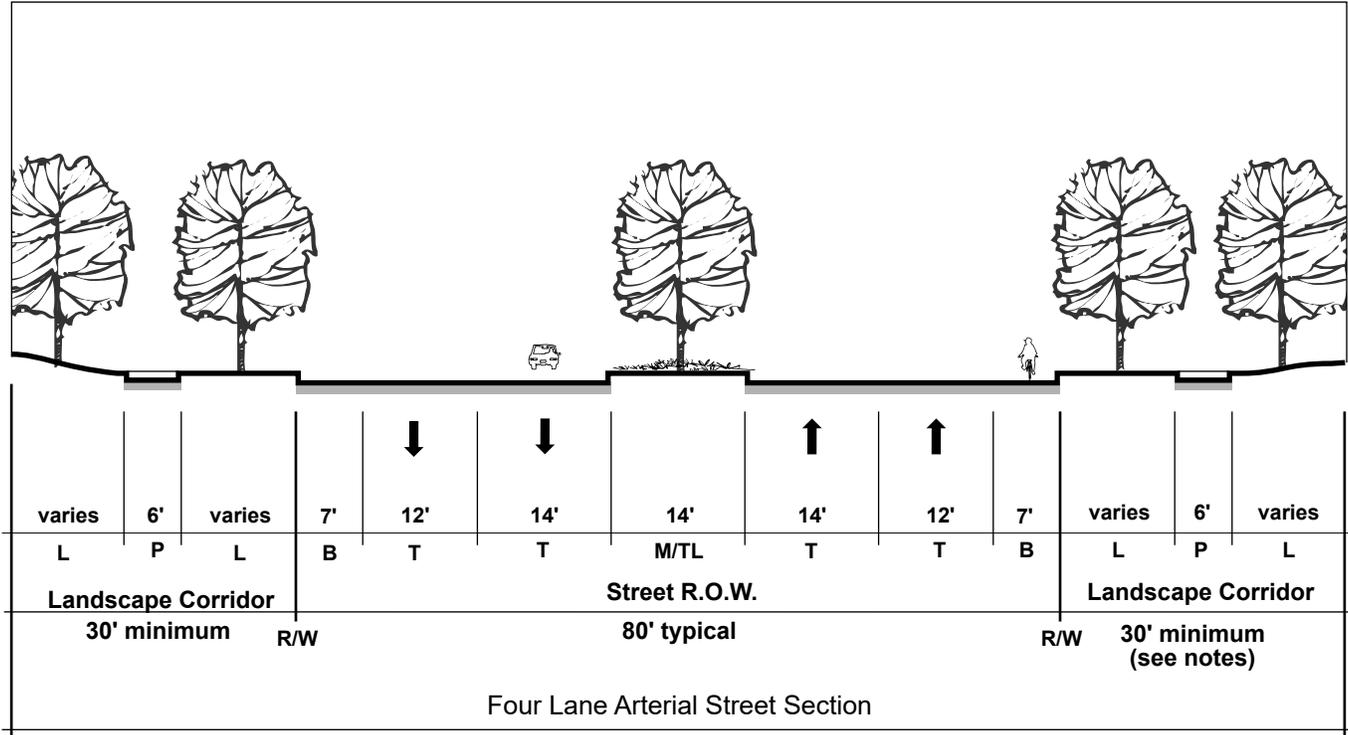
Notes

- Six lane option only near freeway interchange
- Sidewalk may meander within landscape corridor
- At intersections, turn lanes will reduce landscape median and corridor areas
- Right-of-Way is to back of curb
- Landscape corridor areas may be reduced / eliminated:
 - in situations of extreme topography
 - when residential lots side onto streets
 - when adjacent to open space areas
- At culvert crossing, sidewalk is adjacent to curb and landscape parkway is eliminated

Key

- T Travel Lane
- M Median
- TL Turn Lane
- OP On Street Parking
- P Pathway
- B Bike Lane
- L Landscaped Parkway

GENERAL DEVELOPMENT PLAN



Location

- Twelve Bridges Drive from St. A to St. D
- Lincoln Parkway
- Street A, St. B, and St. C

Notes

- Sidewalk may meander within landscape corridor
- Edge condition may vary depending on adjacent land use
- At intersections, turn lanes will reduce landscape median and corridor areas.
- Right-of-Way is to back of curb
- Landscape corridor areas may be reduced / eliminated:
 - in situations of extreme topography
 - when residential lots side onto streets
 - when adjacent to open space areas
- At culvert crossing, sidewalk is adjacent to curb and landscape parkway is eliminated

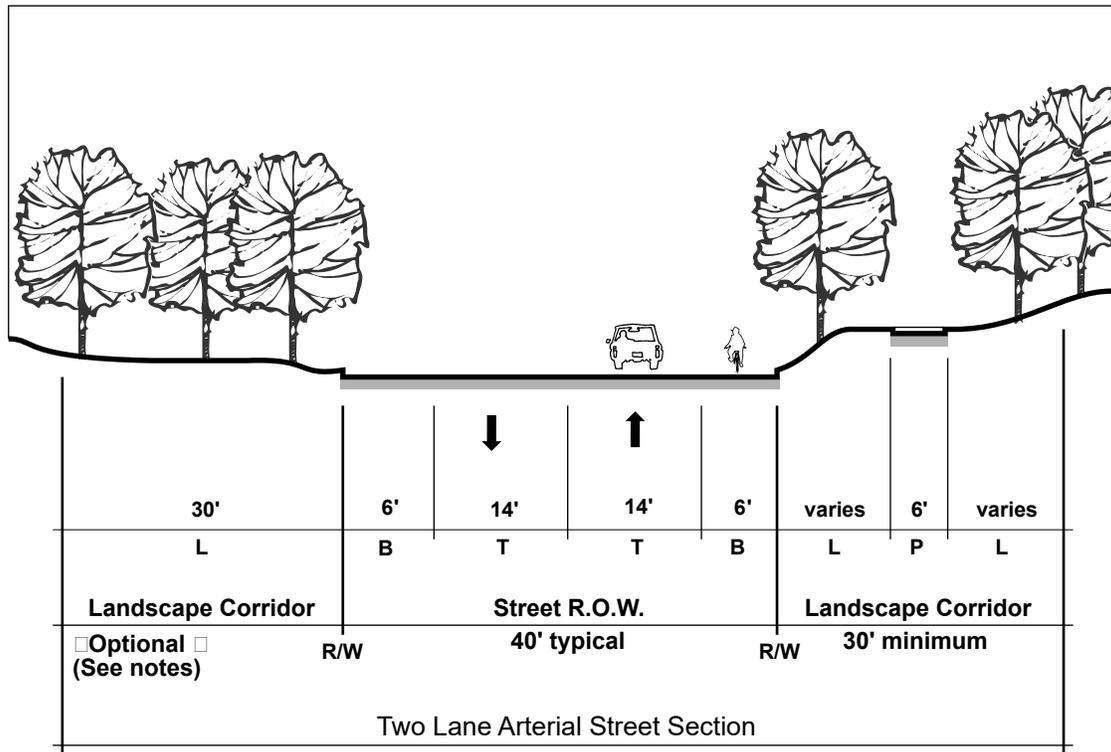
Key

- T Travel Lane
- M Median
- TL Turn Lane
- OP On Street Parking
- P Pathway
- B Bike Lane
- L Landscaped Parkway



Figure 3-17

Four Lane Arterial
Street Section



Location

- Twelve Bridges Drive from Street D east to Sierra College Boulevard

Notes

- Minimize curb and gutter improvements
- Sidewalk may meander within landscape corridor
- Edge condition may vary depending on adjacent land use
- At intersections, turn lanes will reduce landscape corridor areas
- Right-of-Way is to back of curb
- Landscape corridor areas may be reduced / eliminated:
 - in situations of extreme topography
 - when residential lots side onto streets
 - when adjacent to open space areas
- At culvert crossing, sidewalk is adjacent to curb and landscape parkway is eliminated

Key

- T Travel Lane
- M Median
- TL Turn Lane
- OP On Street Parking
- P Pathway
- B Bike Lane
- L Landscaped Parkway

Figure 3-18

Two Lane Arterial Street Section

3.10.2 Collectors

Collector streets are intended to serve high volumes of traffic with numerous turning movements. Collector streets will serve the Main Village and Southern Valley Community Districts.

Major Collector

The major collector section includes a 14' foot travel lane, a 7' foot cart lane and a 6' foot bicycle lane in each direction of travel separated by a 14' foot landscape median. Adjacent to each side of the roadway section is a 25' foot minimum landscape corridor with a 6' foot pedestrian pathway except adjacent to the golf courses. This roadway section will be utilized on Streets "B" and "C" in the main village.

Standard Collector

Two standard collector streets serve the Southern Valley Community District from Twelve Bridges Drive. The standards of a standard collector include one 12 foot wide travel lane, and a 7 foot wide golf cart lane in each direction. Six-foot wide bike lanes will also be required. The street standards also includes a landscape corridor along each side of the road. A pedestrian path will be required within landscape corridor. The standard collector may not have lots fronting with access. A standard collector street section requires a minimum of 50 feet of street right-of-way with 30' minimum landscape corridor and public utility easements along both sides of the street for total street section of 110 feet (refer to Figure 3-19).

3.10.3 Village Commercial

The village commercial street section will serve employment, commercial, and residential areas in the Main Village. Direct access from collector streets to parking lots and local streets will be permitted. Wide sidewalks lined with commercial storefronts will be provided along with on-street parking. The street character will provide a more urban feel with buildings placed near sidewalks and the landscaped areas reduced. The street standards include a 64-foot street right-of-way with two travel lanes and no median. Street parking will be permitted. Pedestrian area will include coordinated sidewalk paving, and street furniture. Commercial storefronts will adjoin sidewalks. Landscaping will consist of street trees installed in sidewalk using tree grates, and plantings incorporated into the building hardscape (refer to Figure 3-20).

3.10.4 Local Streets

Local streets provide access and circulation to individual lots. Local street sections will vary depending on the product type served and the topography of the area.

Residential

Where public local residential streets are to be loaded on both sides by dwelling units, the street standards are to include two 10-foot wide travel lanes and capacity

for on-street parking. In addition, a 6-foot wide street tree easement and a 4-foot sidewalk will be provided on each side of the street. All residential streets may be used informally for bicycle and golf cart travel (refer to Figure 3-22).

3.10.4 (A) Private Local Streets

Private local streets provide access and circulation to individual lots. Private local street sections will vary depending on the product type served and the topography of the area. Private local streets will be maintained by a project HOA or other acceptable mechanism as approved by the City.

Residential

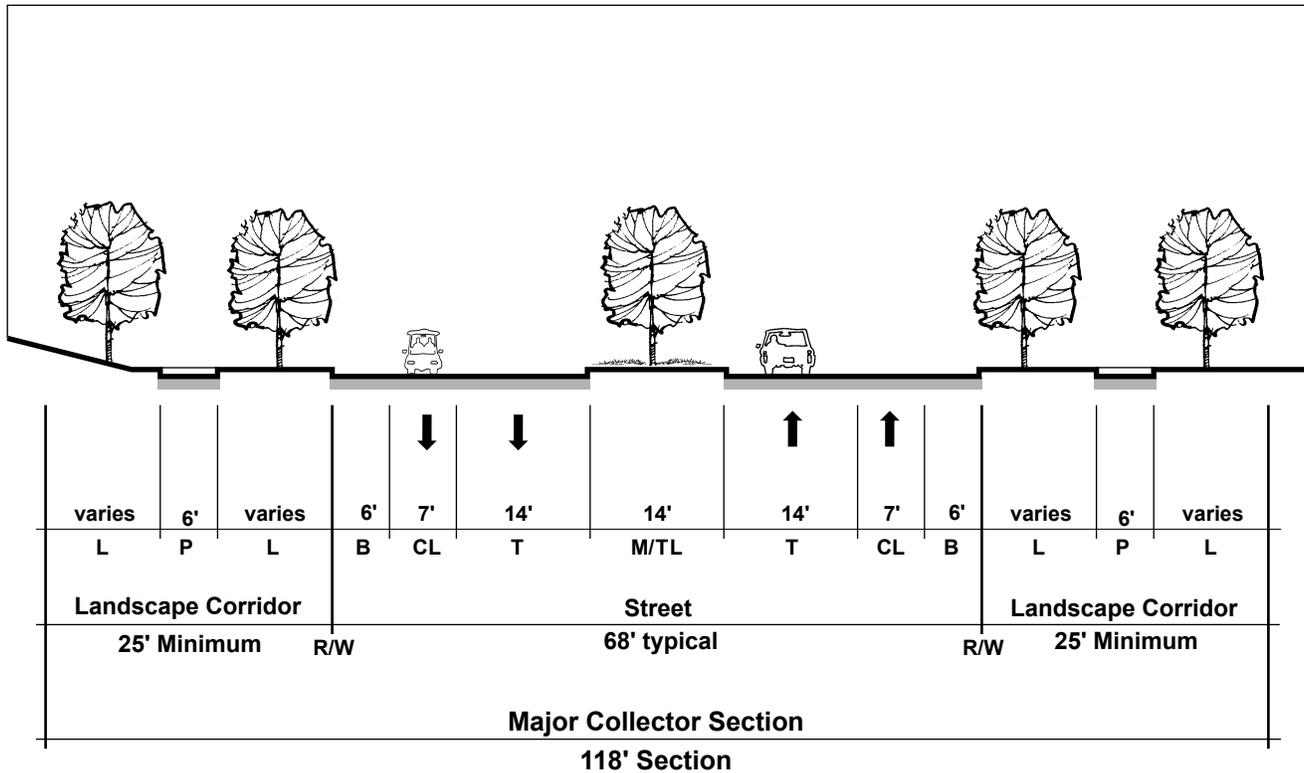
Where private local residential streets are to be loaded on both sides by dwelling units, the street standards are to include two 10-foot wide minimum travel lanes and may include capacity for on-street parking. In addition, a 4-foot sidewalk shall be provided on at least one side of the street. All private residential streets may be used informally for bicycle and golf cart travel (refer to Figure 3-22a-f).

3.10.4 (B) Private Local Alleys

Private local alleys provide access and circulation to individual lots. Private local street sections will vary depending on the product type served and the topography of the area. Private local streets will be maintained by a project HOA or other acceptable mechanism as approved by the City.

Residential

Where private local residential alleys are utilized to provide vehicular access to residential units, alley width serving garages shall be a minimum of 20' wide. If the alleys are to aid in primary circulation or provides access for public trash collection, the minimum width shall be 30' (refer to Figure 3-22g-h).



Location

Street "B" and Street "C" in Main Village

Notes

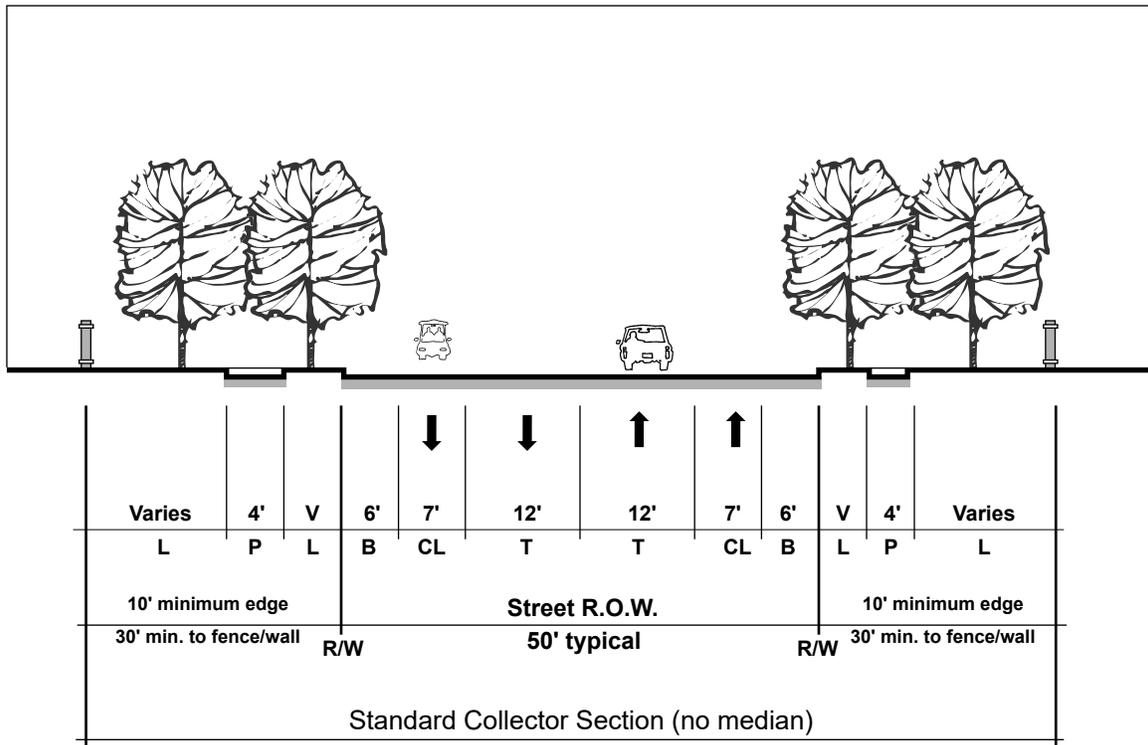
- " Edge conditions may vary depending on adjacent land use. Street sections may be refined in General Development Plans
- " Cart lanes are optional and will be removed from section when speed limit exceeds 35 MPH or where deemed unnecessary
- " Landscape corridor areas may be reduced / eliminated:
 - in situations of extreme topography
 - when residential lots side onto streets
 - when adjacent to open space areas
- " Sidewalk may meander within landscape corridor
- " At intersections, turn lanes will reduce landscape median and corridor areas
- " Right-of-Way is to back of curb
- " Sidewalk may be eliminated when directly adjacent to

Key

- T Travel
- M Media
- TL Turn
- P Pathway
- L Landscaped
- B Bike Lane
- CL Golf Cart Travel Lane

Figure 3-19
**Major Collector
Street Section**

GENERAL DEVELOPMENT PLAN



Location

- Street D □ 31B

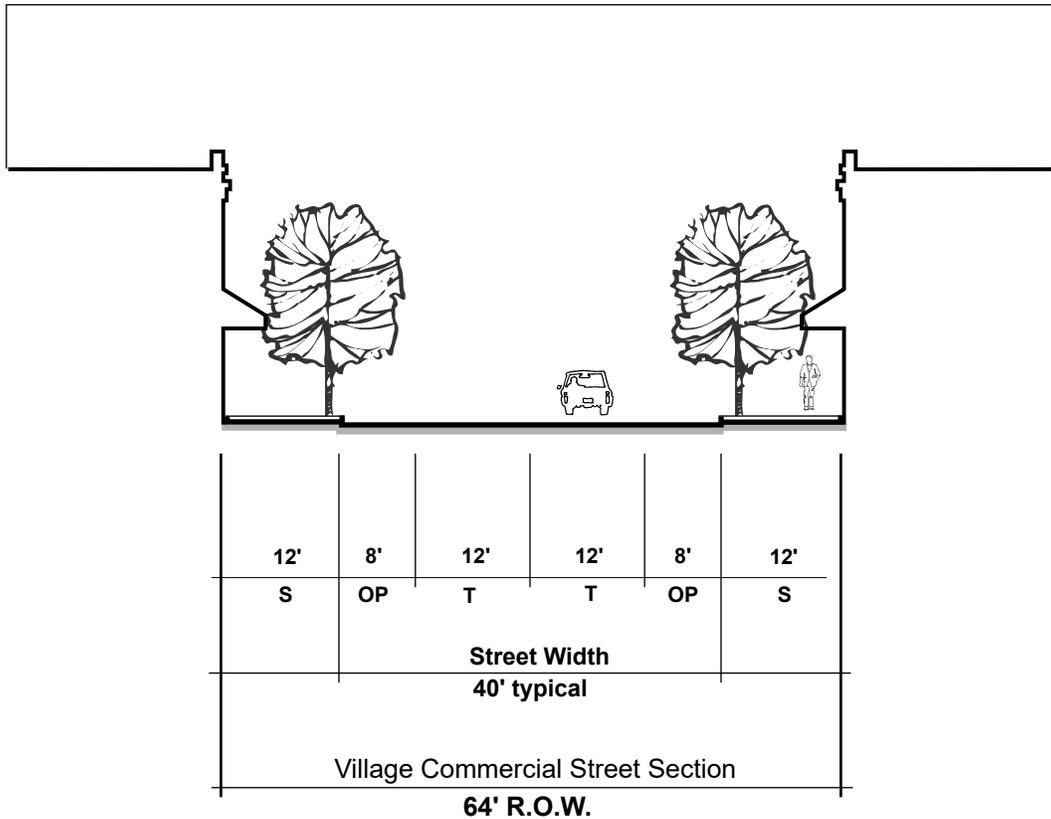
Notes

- Edge conditions may vary depending on adjacent land use
- Cart lanes are optional and will be removed from section when speed limit exceeds 35 MPH or where deemed unnecessary
- Landscape corridor areas may be reduced / eliminated:
 - in situations of extreme topography
 - when residential lots side onto streets
 - when adjacent to open space areas
- At intersections, turn lanes will reduce landscape median and corridor areas
- Sidewalk may meander within landscape corridor
- At culvert crossings, sidewalk is adjacent to curb and landscaped parkway is eliminated
- Right-of-Way is to back of curb

Key

- T Travel Lane
- M Median
- TL Turn Lane
- OP On Street Parking
- P Pathway
- CL Golf Cart Travel Lane
- L Landscaped Parkway / Side Yard Setback
- B Bike Lane

GENERAL DEVELOPMENT PLAN



Location

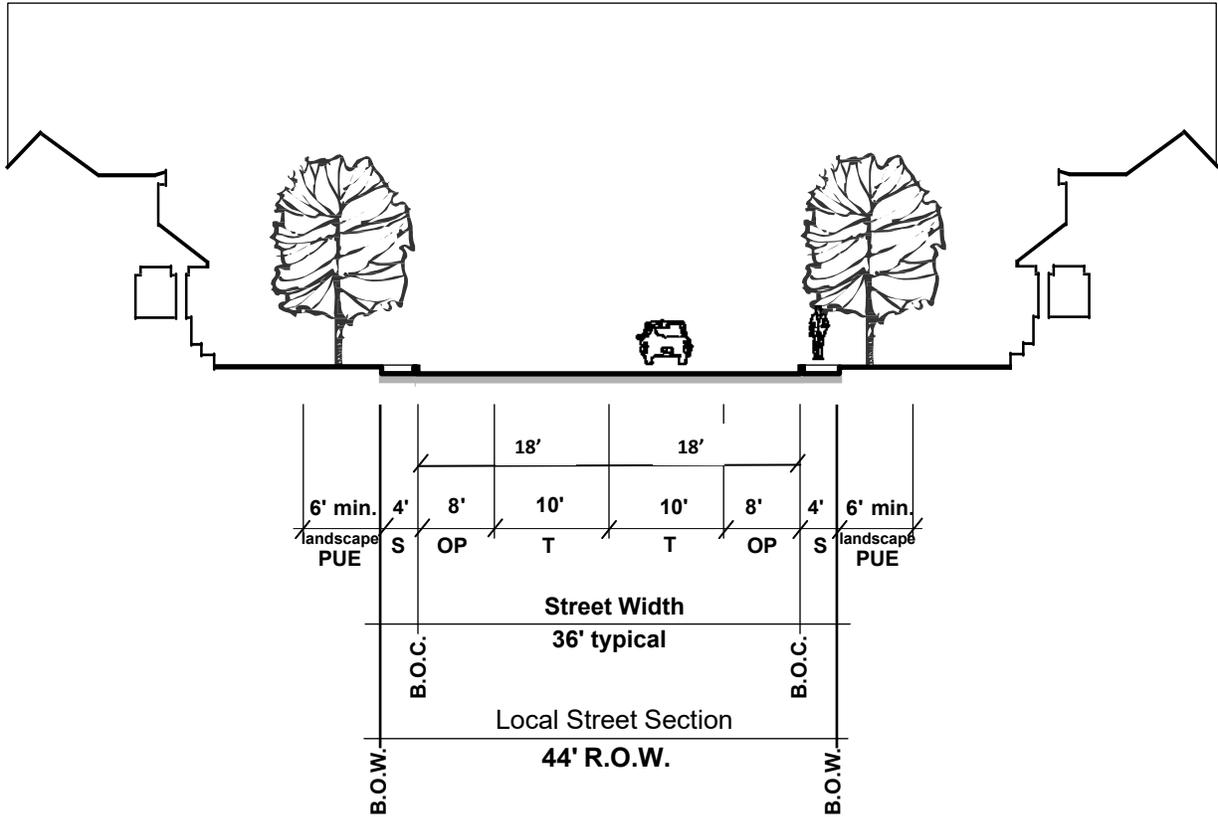
- Village Commercial area in Main Village

Notes

- Street dimensions are to back of curb
- ROW dimensions are to back of walk
- Diagonal parking may be provided as long as the street section is widened accordingly

Key

- T Travel Lane
- M Median
- TL Turn Lane
- OP On Street Parking
- S Sidewalk
- B Bike Lane
- L Landscaped Parkway



Location

- Residential Areas in Main Village, Southern Valley, The Ridge, and portions of The Oaks

Notes

- Houses should front or side onto street
- Right-of-Way is to back of walk (B.O.W.)
- Trees to be placed a maximum of 3' from back of walk
- B.O.C.=Back of curb

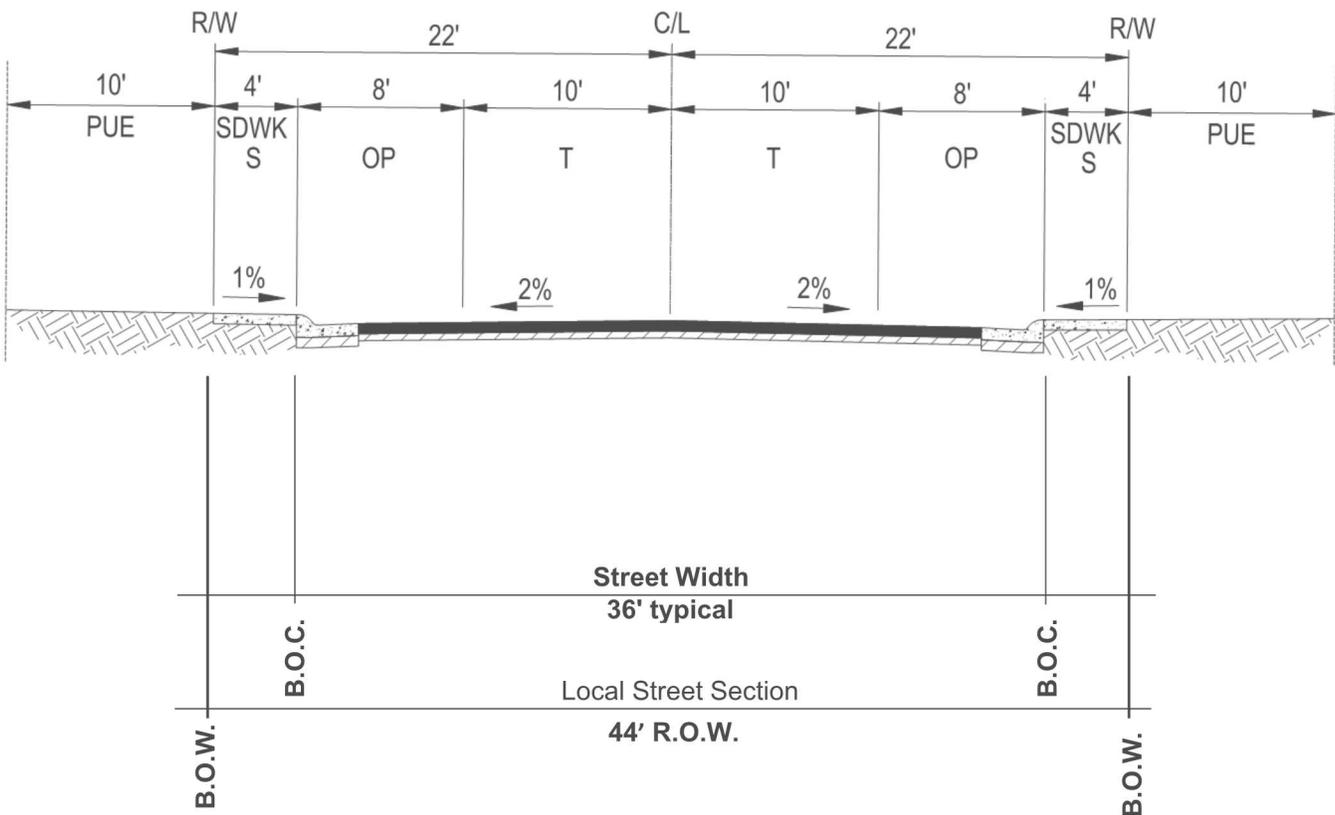
Key

- T Travel Lane
- M Median
- TL Turn Lane
- OP On Street Parking
- S Sidewalk
- B Bike Lane
- L Landscaped Parkway

Figure 3-22

Local Street Section

GENERAL DEVELOPMENT PLAN



Location

- HD Areas in Main Village

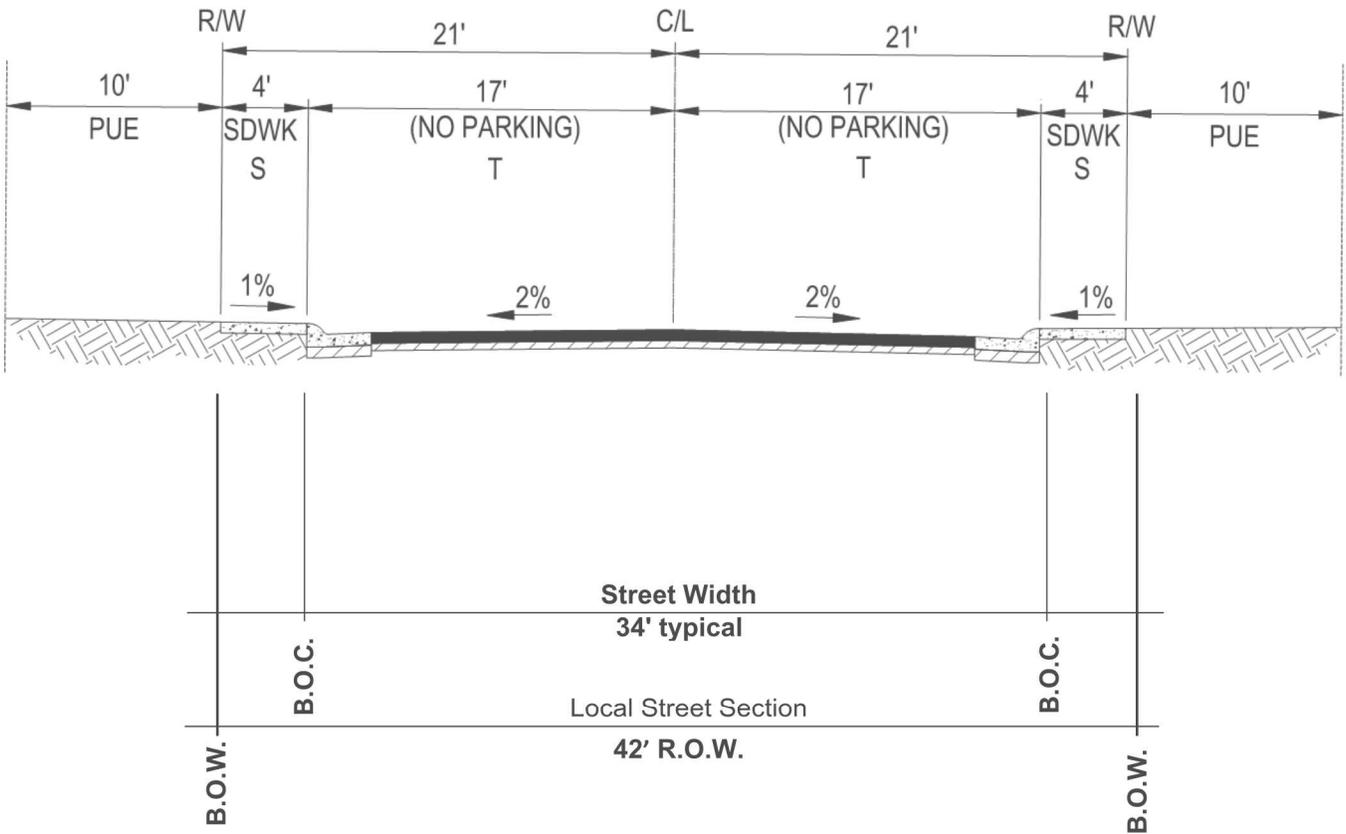
Notes

- Houses should front or side onto street
- Private Right-of-Way is to back of walk or back of curb
- Trees to be placed a maximum of 3' from back of walk
- B.O.C.=Back of Curb
- B.O.W.=Back of Walk

Key

- T Travel Lane
- OP On Street Parking
- S Sidewalk

GENERAL DEVELOPMENT PLAN



Location

- HD Areas in Main Village

Notes

- Houses should front or side onto street
- Private Right-of-Way is to back of walk or back of curb
- Trees to be placed a maximum of 3' from back of walk
- B.O.C.=Back of Curb
- B.O.W.=Back of Walk

Key

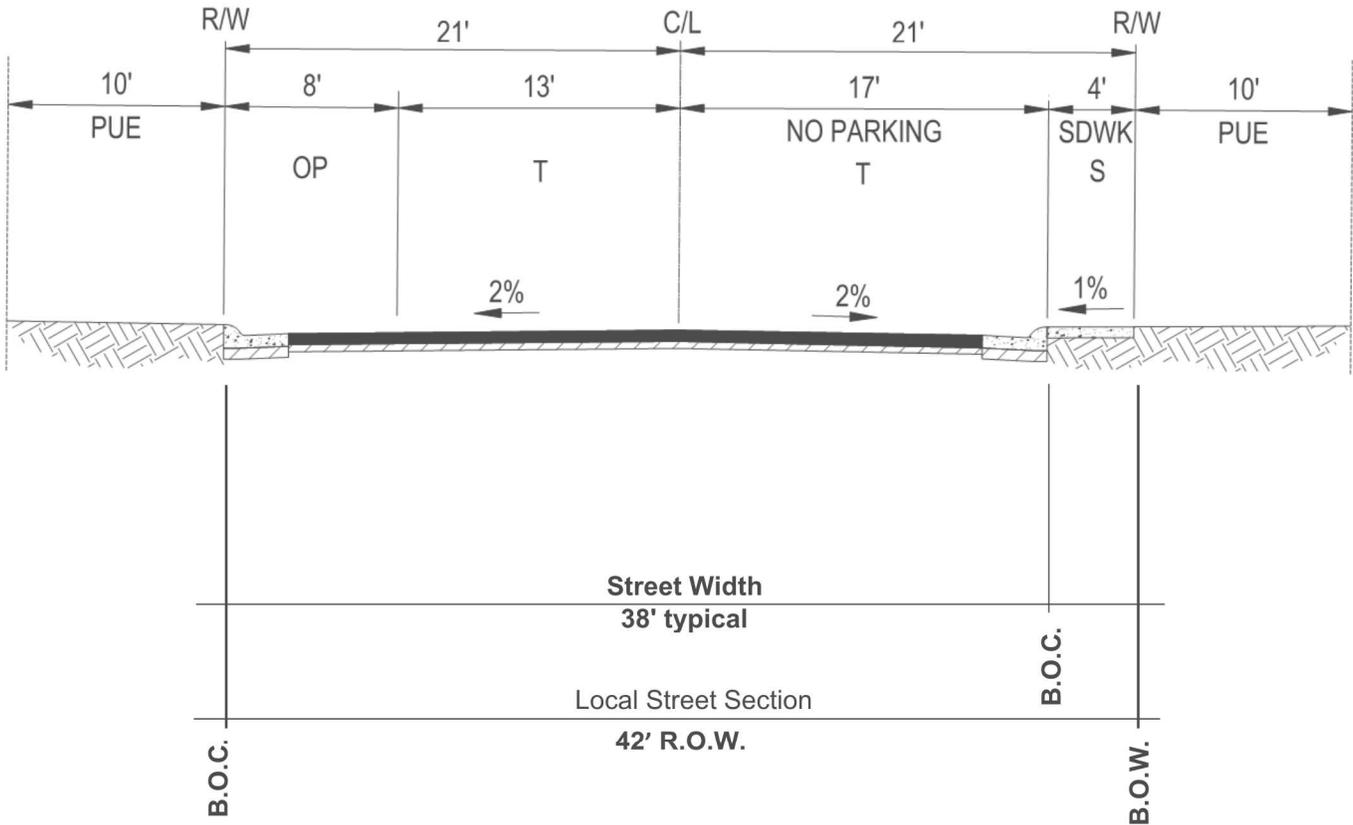
- T Travel Lane
- OP On Street Parking
- S Sidewalk



Figure 3-22b

(Private)
Local Street
Section

GENERAL DEVELOPMENT PLAN



Location

- HD Areas in Main Village

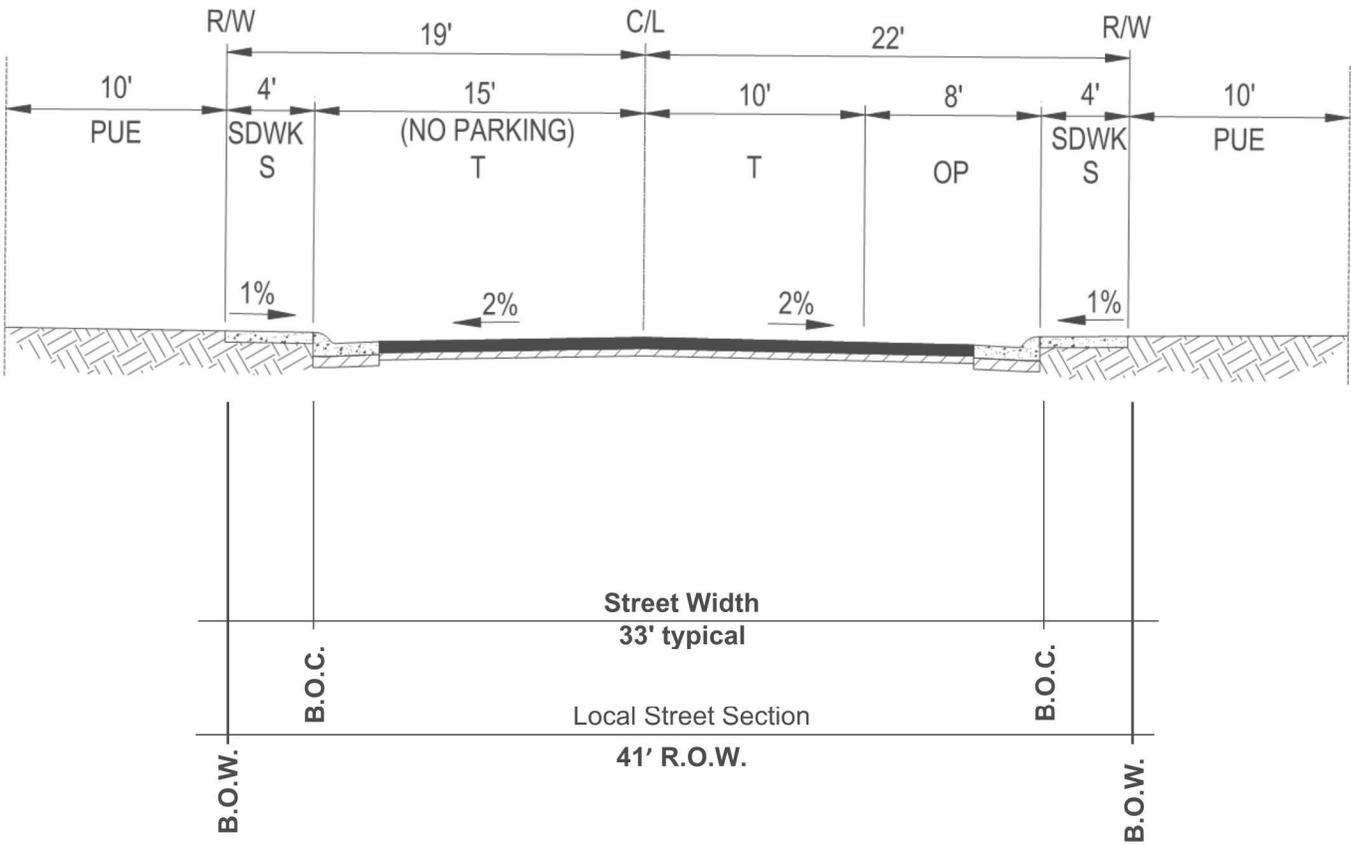
Notes

- Houses should front or side onto street
- Private Right-of-Way is to back of walk or back of curb
- Trees to be placed a maximum of 3' from back of walk
- B.O.C.=Back of Curb
- B.O.W.=Back of Walk

Key

- T Travel Lane
- OP On Street Parking
- S Sidewalk

GENERAL DEVELOPMENT PLAN



Location

- HD Areas in Main Village

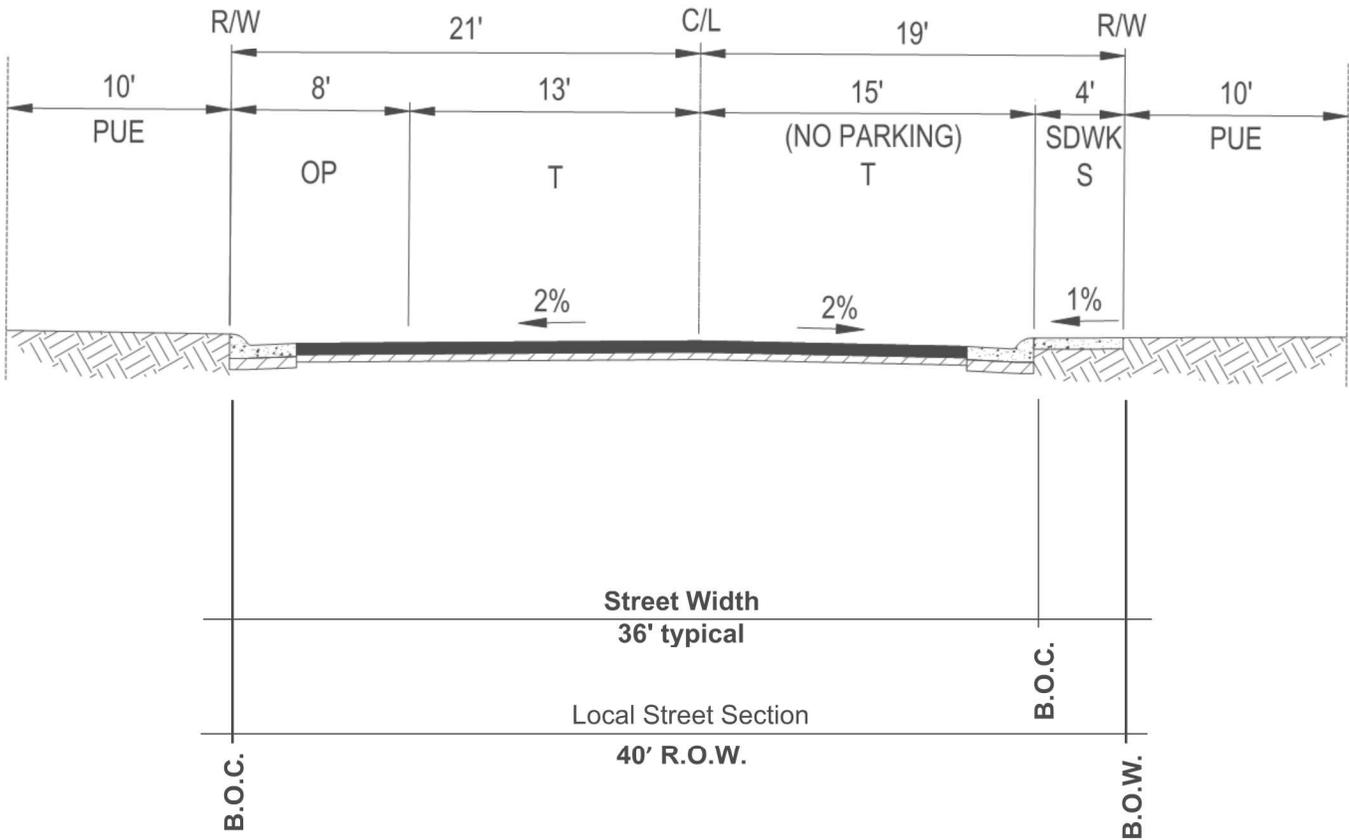
Notes

- Houses should front or side onto street
- Private Right-of-Way is to back of walk or back of curb
- Trees to be placed a maximum of 3' from back of walk
- B.O.C.=Back of Curb
- B.O.W.=Back of Walk

Key

- T Travel Lane
- OP On Street Parking
- S Sidewalk

GENERAL DEVELOPMENT PLAN



Location

- HD Areas in Main Village

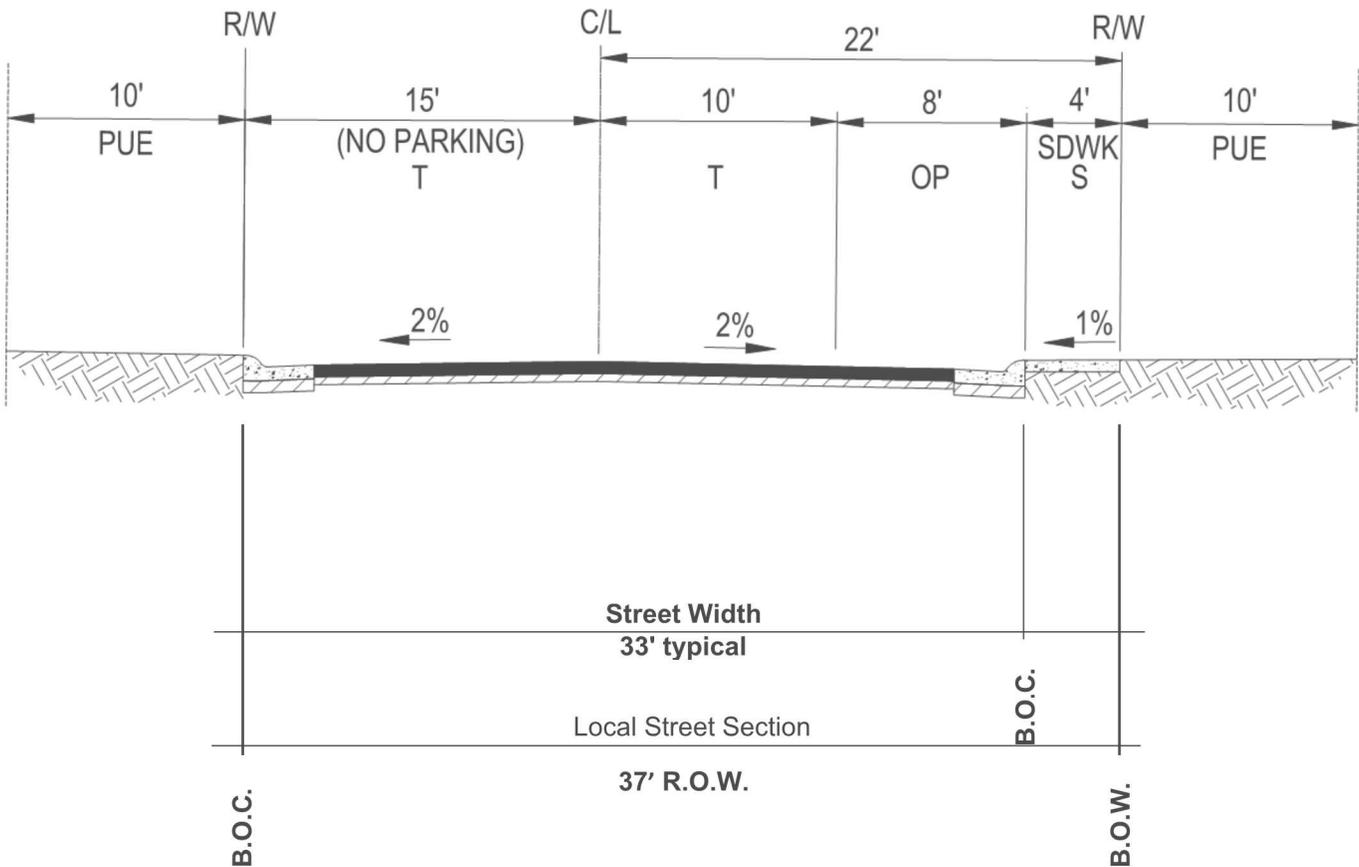
Notes

- Houses should front or side onto street
- Private Right-of-Way is to back of walk or back of curb
- Trees to be placed a maximum of 3' from back of walk
- B.O.C.=Back of Curb
- B.O.W.=Back of Walk

Key

- T Travel Lane
- OP On Street Parking
- S Sidewalk

GENERAL DEVELOPMENT PLAN



Location

- HD Areas in Main Village

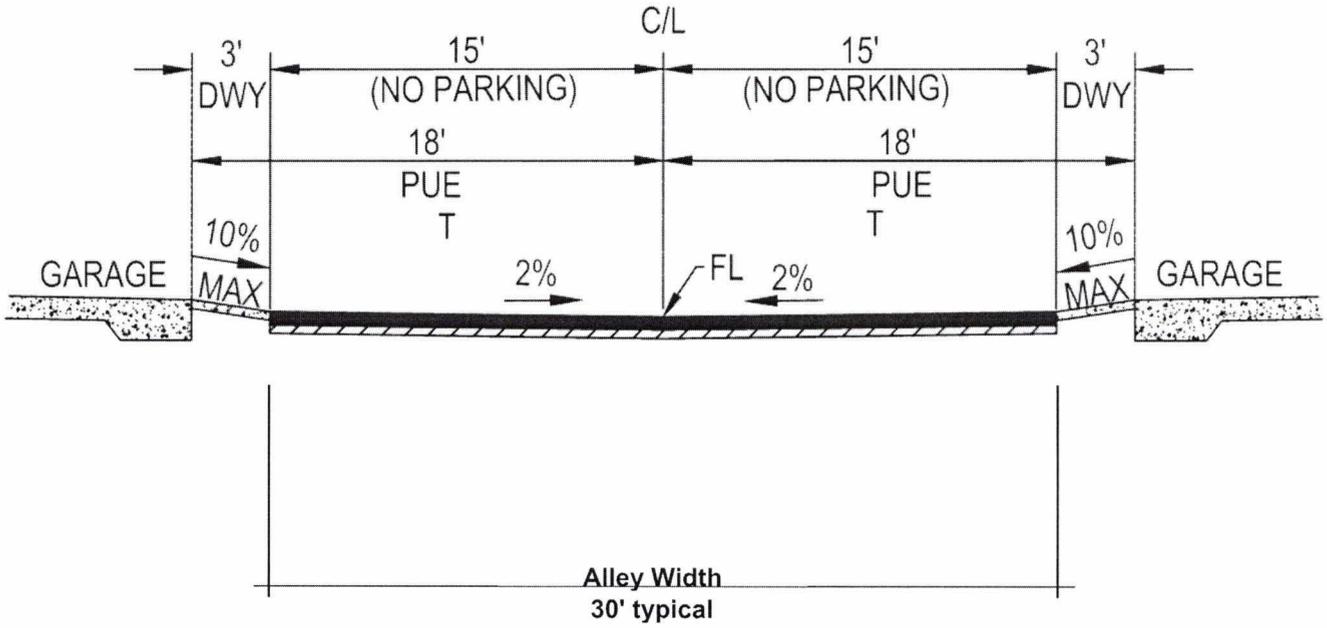
Notes

- Houses should front or side onto street
- Private Right-of-Way is to back of walk or back of curb
- Trees to be placed a maximum of 3' from back of walk
- B.O.C.=Back of Curb
- B.O.W.=Back of Walk

Key

- T Travel Lane
- OP On Street Parking
- S Sidewalk

GENERAL DEVELOPMENT PLAN



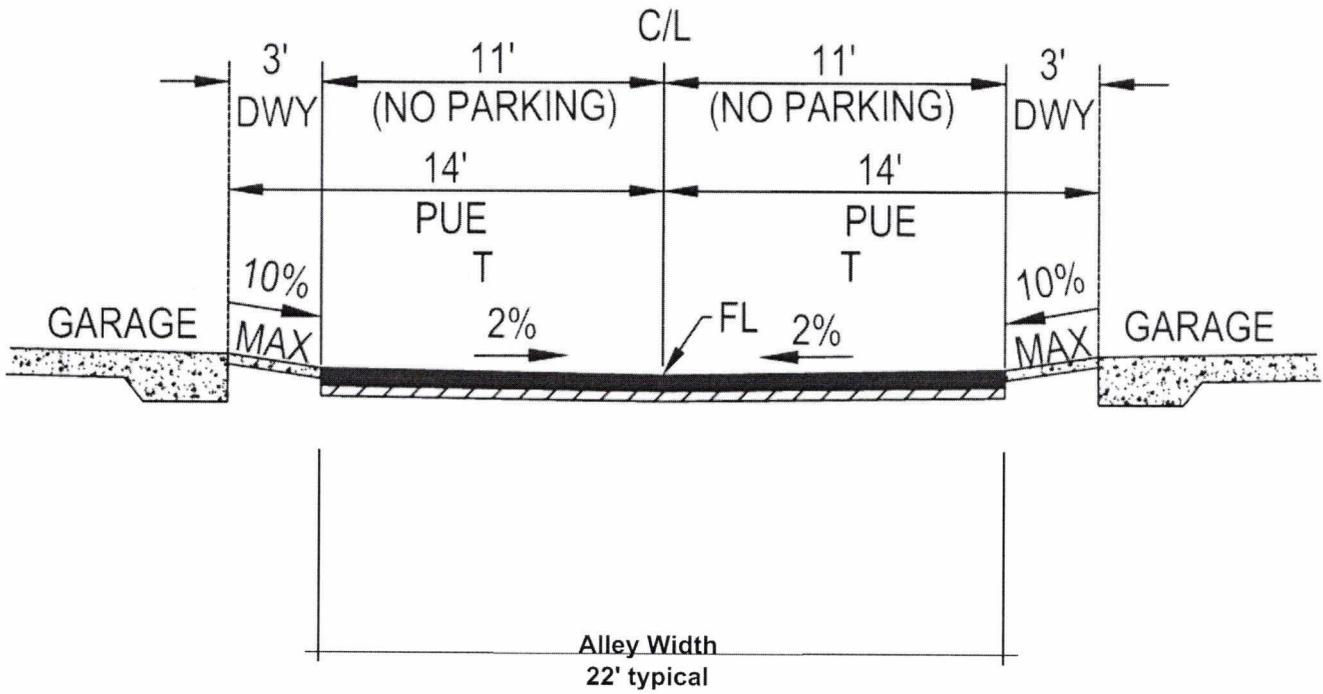
Location

• Village 3

Key

T Travel Lane

GENERAL DEVELOPMENT PLAN



Location

• Village 3

Key

T Travel Lane

Hillside Lane

Residential development within the Oaks Community District will include the use of the hillside street section. Hillside lanes may be public or private roads. Access to private roads may be controlled by gated entrances. Street standards for the hillside lane include two 12-foot wide travel lanes, one in each direction and rolled curb. The landscape parkway should be provided on the side paralleling the open space district. On-street parking should be restricted (refer to Figure 3-22).

Alleyway

Alleyways are permitted options in all residential zoning districts with the exception of the Residential Estate (LD-E) District. Alleyways are recommended in areas developed as cluster units. Alleyways are to provide garage access along the rear of residential lots. Alleyways are to be maintained as private streets with lighting and landscaping provided. The standards of an alleyway include one 18-foot wide travel lane, a one-foot roll-up curb and gutter and garage setback of 5 feet from the curb.

3.10.5 Emergency Access Road

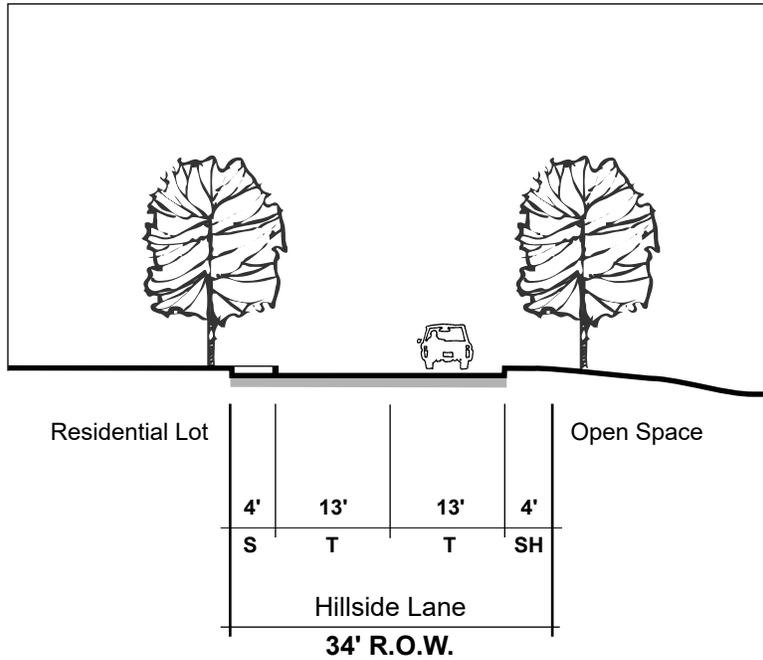
Plan Area A includes a number of emergency access roads to allow emergency response teams to respond efficiently in the event of an emergency. These access roads also serve as part of the network of trails and paths throughout the area. Vehicular traffic is restricted on these roads. Street standards include an all weather surface 16-foot wide travel lane. Access will be controlled via the use of a cable or chain or other approved barrier at all access points (refer to Figure 3-23).

3.10.6 Pathways and Trails.

A system of pathways and trails will be provided throughout Plan Area A. The purpose of these pathways is to provide non-vehicular access to key destination points. Pathways will consist of walkways in landscaped corridors along arterial and collector streets (refer to Figure 3-15). In landscaped corridors, the pathways will be six foot wide concrete or asphalt surface located within a street right-of-way or a separate easement.

Trails may vary in construction materials and widths depending on the site and location. Alignment of trails will consider topography, existing vegetation and adjacent land uses. In general, trails will be a minimum six feet wide to ensure adequate space for the access of emergency and maintenance vehicles. Split rail fencing will be provided along all pathways where it abuts open space.

GENERAL DEVELOPMENT PLAN



Location

- Portions of The Oaks

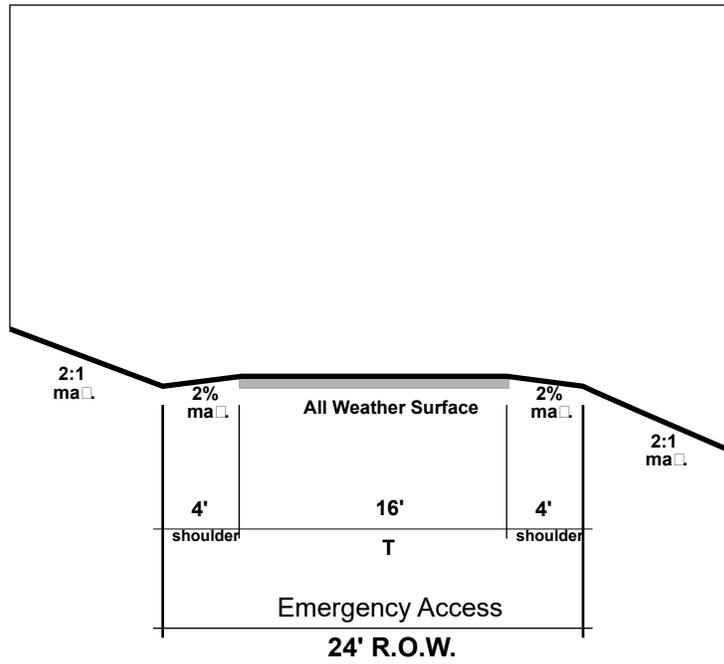
Notes

- For use in hillside and very low density residential areas
- Sidewalk (one side) is optional in situations of extreme topography
- No on-street parking permitted

Key

- T Travel Lane
- M Median
- TL Turn Lane
- SH Shoulder
- L Landscaped Parkway
- S Sidewalk

Figure 3-23



Key

- T Travel Lane
- M Median
- TL Turn Lane
- OP On Street Parking
- S Sidewalk
- SH Shoulder
- L Landscaped Parkway

Figure 3-24

3.10.7 Objectives and Policies

Objective

Provide a hierarchical street system consistent with the Twelve Bridges Specific Plan.

Policies

- 1) All street improvements are to be consistent with the appropriate street section indicated in Figures 3-16 to 3-24 and with Figure 3-14, Circulation Diagram.

Objective

Minimize the impacts of traffic on residential neighborhoods while providing an open street pattern.

Policies

- 1) The project applicant will have the option to install security gates at specific neighborhood entry points for the purposes of restricting automobile traffic. Security gates should not restrict pedestrian or bicycle access. (Gating will be coordinated and approved by the City of Lincoln.)
- 2) Stop signs should be provided, as required, to slow traffic along Residential Collector streets.
- 3) Unloaded standard collector streets will be clearly marked and should not exceed 35 mile per hour design speed.
- 4) Neighborhood circulation shall utilize a network of local streets.
- 5) The design of cul-de-sac streets should be consistent with the intent of Figure 3-3, Preferred Cul de sac Configurations.

Objective

To ensure that all streets are improved, landscaped and continually maintained to meet the high standards of Twelve Bridges.

Policies

- 1) All public street improvements will comply with Lincoln Construction Standards.
- 2) All improved public streets should be dedicated to the City of Lincoln. The City will assume responsibility for maintenance and repair of the street facilities.
- 3) All street landscaping, lighting and pathway improvements should be installed pursuant to the terms of the development agencies. The City may grant a deferment of street improvements provided responsibility for the final improvement and the “trigger” event for improvement are identified.
- 4) Landscaping, lighting and special paving surfaces within the street right-of-way should be maintained pursuant to policies set forth in the Specific Plan.
- 5) The phased improvement of major streets and signalization of intersections should be permitted provided minimum levels of service are maintained.

Objective

Provide a functional and convenient system of pathways and trails throughout Plan Area A.

Policies

- 1) Non-vehicular pathways should be provided as indicated in Figure 3-15.
- 2) Pedestrian sidewalks or pathways should be provided along all streets.
- 3) Pathways should be located within a landscape easement.
- 4) Pathways should be made of concrete, asphalt or of equivalent. Alternative all weather surface materials (e.g. decomposed granite, raised boardwalks) may be substituted in the natural open space areas where deemed more sensitive and compatible.

Objective

Ensure adequate landscaping is provided as a part of all street designs.

Policies

- 1) Landscape corridors shall be provided along all arterial and collector streets. Where streets front on natural open space areas, the landscaped corridors may be reduced/eliminated.
- 2) A consistent street tree pattern should be established along all streets.
- 3) Landscape corridors within the street right-of-way will be dedicated to the City of Lincoln as part of the irrevocable offer of dedication for the street or established in a perpetual landscape easement.
- 4) The landscape corridors will be maintained through a Lighting and Landscape Assessment District, Benefit Assessment District, Community Association, or other form of maintenance determined through development agreement. A portion of the landscape corridor will also serve as a public utility easement.

3.10.8 Street Design Policies and Standards

The following standards apply to all streets within the General Development Plan Area. These standards are based on the Standards set forth in the previously approved General Development Plans.

Street Radii Policies and Standards

- 1) All streets shall conform to radii standards in Table 3-3.
- 2) Special consideration may be given to unusually difficult alignment problems. The Public Works Director shall approve any exceptions to the radius standards in Table 3-3.
- 3) Where a centerline radius on any arterial street is less than the minimum standard, a super elevated roadway section may be required. This determination shall be made by the Public Works Director.
- 4) A minimum tangent length of 100 feet is required on Standard Collector Streets and Arterial Streets.
- 5) No tangent shall be required on local Residential Streets and Hillside Lanes.

Table 3-3 Minimum Centerline Street Radii Standards

Street Type	Minimum Radius
Arterial Streets	600 feet
Major Collector Streets	600 feet
Standard Collector Streets	600 feet
Local Residential Streets	200 feet
Hillside Lanes	200 feet
Cul-de-sac Streets	150 feet

Right-Of-Way Radii Policies and Standards

- 6) Right-of-way radii at corners and intersections shall conform to the standards in Table 3-4.
- 7) The radii for the wider street shall be used when streets of different widths intersect.

Table 3-4 Right-Of-Way radii Standards

Street Type	Minimum R.O.W. Radius
Arterial Streets	25 feet
Major Collector Streets	25 feet
Standard Collector Streets	25 feet
Local Residential Streets	25 feet
Hillside Lanes	20 feet
Cul-de-sac Streets	20 feet

Cul-de-sac Policies and Standards

- 8) All cul-de-sacs shall conform to design standards below in Table 3-5.

Table 3-5 Cul-de-sac Standards

Street Type	Minimum R.O.W. Radius	Edge of Pavement
Arterial Streets	40 feet	33 feet

3.11 Grading

Plan Area A has been categorized into three grading “areas”. Each area has different grading standards and restrictions. These zones are established in response to the Plan Area’s topographic relief and the Twelve Bridges Specific Plan. Depending upon the location, site features and planned urban use, grading may be completely restricted or unrestricted. Figure 3-26 indicates the extent and location of the site grading concepts. The intent of these standards is to establish a balance in the overall approach to site development.

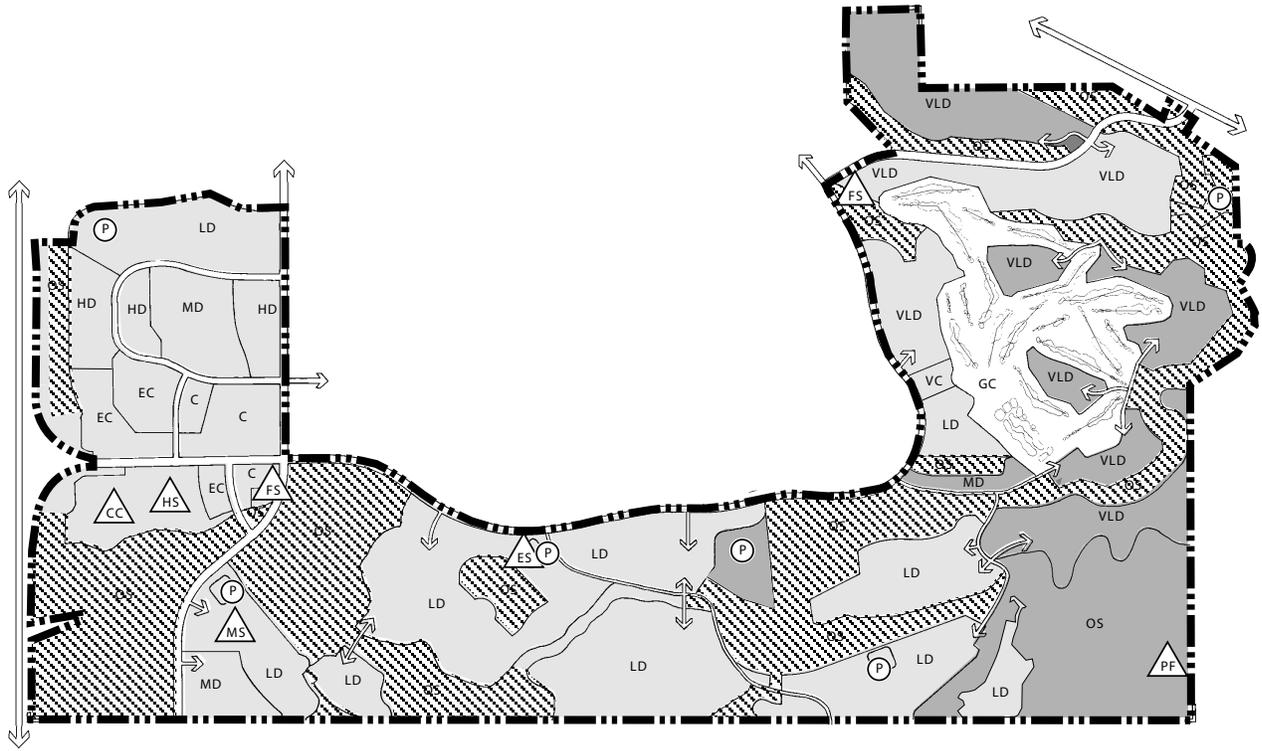
The site topography varies considerably from gently rolling grassland to steeper, heavily wooded terrain. The site also has relatively flat areas consisting of concentrations of wetlands (i.e., vernal pools). The grading areas have been established to protect visually and environmentally sensitive areas by allowing major grading in less sensitive areas while appropriately limiting grading elsewhere.

The purpose of the “General” grading designation is to allow unrestricted grading for Development. There are no limitations except to comply with the General Development Plan policies set forth in Section 3.11.1 to ensure aesthetic quality. Areas designated for “General” grading are the least topographically and environmentally sensitive.

“Restricted” grading areas allow for a reduced level of grading in response to visually sensitive topographic and vegetative features on site. Restricted grading areas will limit the amount of earthwork for roadway construction and contour grading for home site creation. Mass grading is not permitted. Tree removal is limited. All sensitive resource features such as wetlands, riparian areas and vernal pools should be protected.

The purpose of the “Limited Grading Area is to protect area of the site where natural features and landscape area will be preserved. This area is the most restrictive category of grading. This includes major drainages, vernal pool areas, wetlands, cultural resources, oak woodlands, and other habitat or sensitive area on site. Grading in these areas will be limited to grading for utilities, roadways, trails and further environmental preservation mitigation measures as conditions.

GENERAL DEVELOPMENT PLAN



Legend

- General Grading
- Restricted Grading
- Limited Grading
- Plan Area Boundary



3.11.1 Policies and Standards

The following policies apply to the creation of new lots or reconfiguration of existing lots via parcel map, tract map, or lot line adjustments within the GDP project area.

All Grading Zone Policies

- 1) Preliminary grading plans will be submitted with every application for a tentative subdivision map and may be required for submittal of a parcel map and lot line adjustment applications.
- 2) Constructed slopes should be re-contoured to reflect the existing natural topographic contour and character to retain the visual integrity of the existing site conditions.
- 3) Natural drainage course and stream banks should be stabilized with landscaping.
- 4) Grading immediately outside the development area will be permitted when it is consistent with an approved grading plan. Stockpile and borrow sites may be permitted within areas that are scheduled for future development. Areas designated as “limited” may not be used for any grading activity without appropriate environmental clearances.
- 5) Native stands of trees and other significant vegetation should be avoided or preserved where possible.
- 6) All grading shall comply with any environmental mitigation requirements.
- 7) Grading is permitted subject to the following criteria:
 - a) The graded finish slope should emulate, as much as possible, the natural slope prior to modification (i.e., avoid hard edge transitions in slopes banks and vary finished pad elevations.)
 - b) Retaining wall heights should be minimized.
 - c) Mitigating landscaping or slope revegetation should be required in all circumstances.
- 8) All site trenching and grading operations should utilize Best Management Practices (BMP’s) for erosion control techniques.
- 9) Cleared areas should be promptly revegetated or otherwise protected from soil erosion upon completion of site preparation activities.
- 10) Minimize disturbance to stream corridors during construction of stream crossings by limiting cut and fill in the normal high water channel and by placing crossings at right angles to the stream centerline.
- 11) Utilize Best Management Practices (BMP) to control water quality impacts from urban runoff.

General Grading Zone Policies

- 1) Mass graded sites should be contoured and shaped to replicate to the extent feasible natural topographic forms. Ridged cuts and slopes with uniformed angles and corners are prohibited.
- 2) All pads shall drain to a public street or storm drainage system. Exceptions may be granted by the City Engineer.
- 3) The maximum vertical height of retaining walls between pads or benches should be four (4) vertical feet as measured from the base of wall to top of wall.
- 4) The exposed face of a foundation stem wall should not exceed five (5) feet in average height and should be landscaped and/or screened in a manner subject to the approval of the City.

Restricted Grading Zone Policies

- 1) Individual lot grading should be minimized.
- 2) Where manufactured slopes are over eight (8) feet in vertical height and exceed 200 feet in horizontal length and visible from a public street, the contour shall be curved in an undulating fashion with varying horizontal radii to reflect the natural terrain.
- 3) Manufactured slope banks visible from a public street, which exceed 20 feet in vertical height, should have variations in slope designed to simulate natural terrain.
- 4) Where graded slopes intersect, the ends of each slope should be horizontally rounded and blended.
- 5) The toe and crest of manufactured slopes should be rounded to blend with adjoining terrain.
- 6) Retain, where feasible, major natural topographic features such as drainage channels hills, ridges and prominent landmarks.
- 7) Erosion control on construction sites and/or grading for subdivision improvements should be done with City engineer approval.

Limited Grading Zone Policies

- 1) Grading, alterations or disturbances of the existing topography should be limited to excavation, trenching or pad grading for infrastructure improvements (e.g., water, wastewater, utility), emergency access route, or trails and pathways, and for further environmental preservation mitigation measures or conditions.
- 2) Grading should be limited to those areas that are to be reconstructed, re-landscaped, or improved. All other areas, including identified natural open space areas, are to remain undisturbed, except for improvements such as pedestrian walkways, or bicycle path improvements.
- 3) All grading should be phased so that prompt revegetation or construction of improvements will control erosion.
- 4) Conserve natural topographic features and appearances by means of land sculpturing to blend graded slopes and benches with natural topography.
- 5) Retain, where feasible, natural topographic features such as hills, ridges and prominent landmarks.
- 6) Grading for Public improvements required to mitigate environmental impacts/to provide for the public health, safety and welfare (e.g., detention basins, check dams, utility installation., etc.) shall be permitted subject to compliance with Best Management Practice (BMP) and applicable environmental mitigation measures.

3.12 Street Lighting

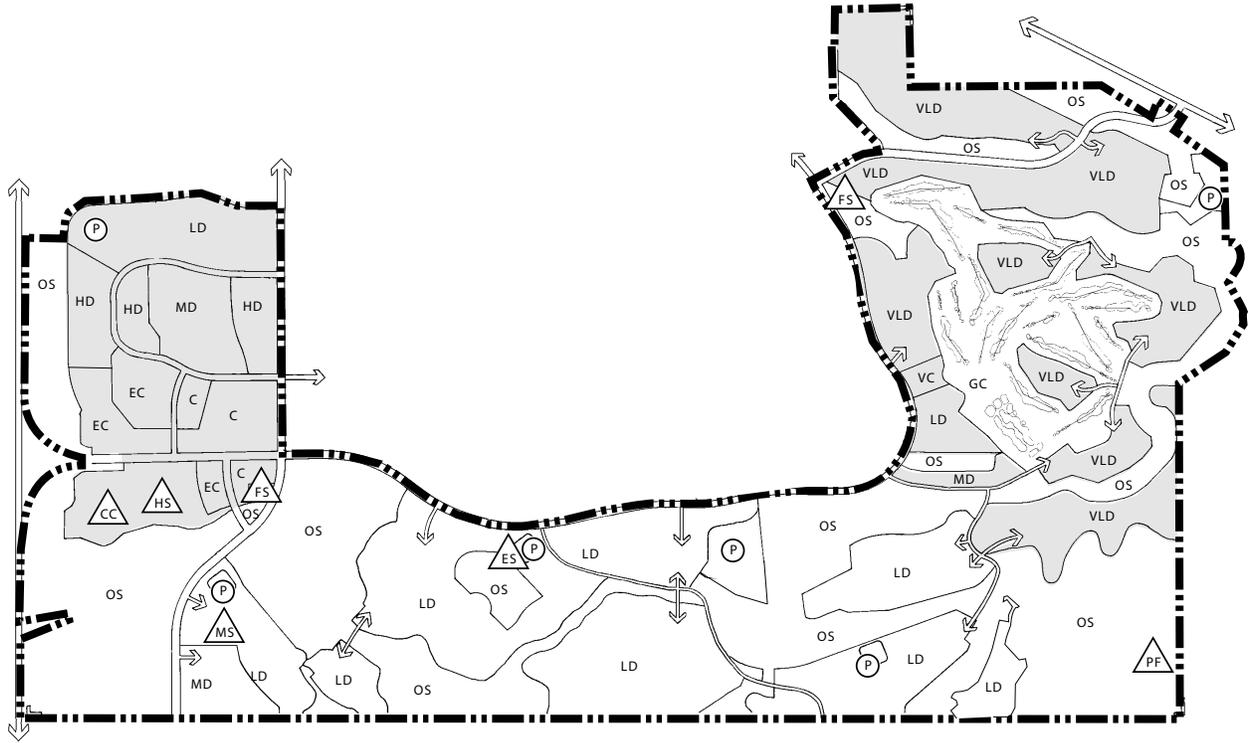
Recommended lighting standards have been established for the General Development Plan Area. The lighting standards respond to the need for safe, secure, and well-lit streets, while encouraging pedestrian scaled thematic lighting in key areas. Along major streets, such as Twelve Bridges Drive, city lighting standards will be used. However, in residential and commercial areas within The Oaks and Main Village, lighting is encouraged to contribute to the character of the districts. In The Oaks, smaller, unobtrusive lighting, with its ability to provide soft downlit pockets of light is recommended. In Main Village, historic lighting is recommended to enhance the quality of the pedestrian environment and provide a visual link to the existing Lincoln downtown core.

The following Lighting Diagram designates the areas where enhanced lighting is encouraged. The Thematic Lighting Examples in figures 3-26 and 3-27 are to portray a sample of poles and fixtures, which meet the intent of the recommendations. The Thematic Lighting selection shall be approved by the City prior to Final Map recordation. In areas for which no lighting specifications is identified, street lighting shall conform to City of Lincoln specifications.

Table 3-6 Lighting Types

Lighting Standard	Description	Permitted Application
Type 1	Low decorative post	“The Oaks” thematic lighting
Type 2	Tall decorative post	“Main Village” thematic lighting
Type 3	Standard pole	Parking lot areas

GENERAL DEVELOPMENT PLAN

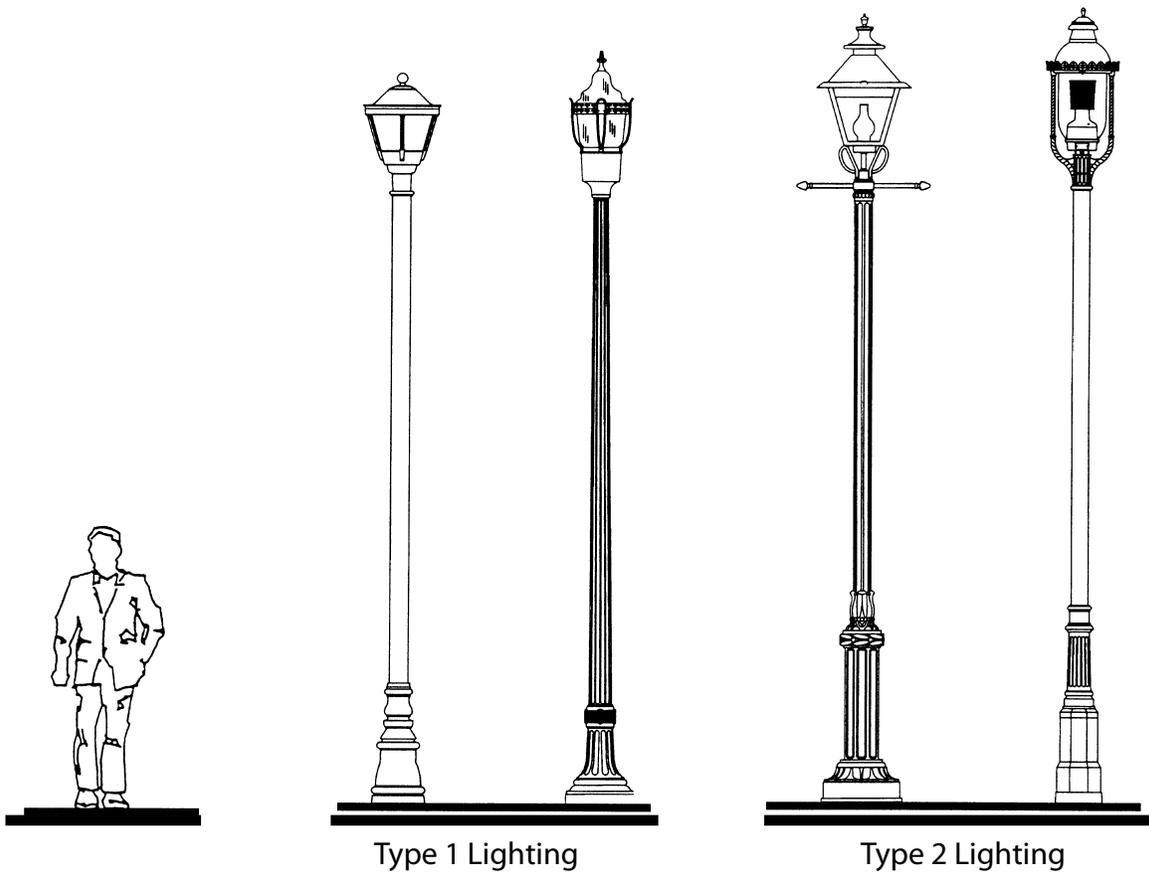


Legend

-  Potential Thematic Lighting Districts
-  Plan Area Boundary



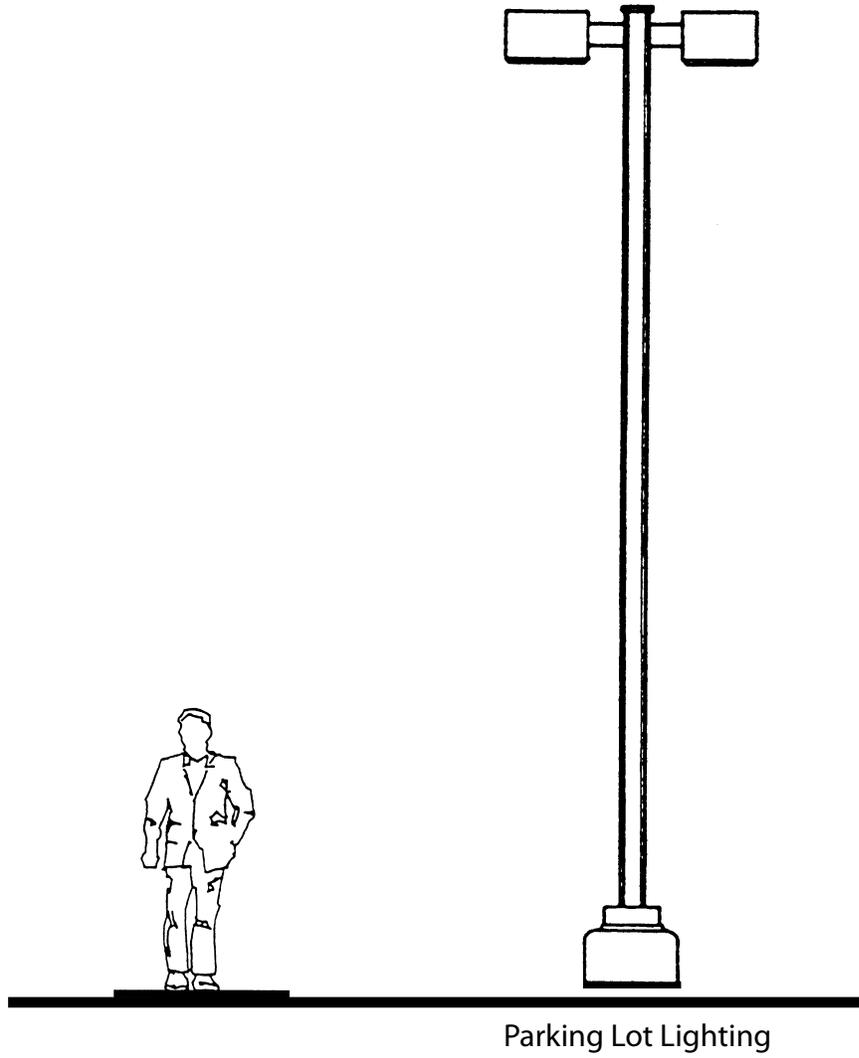
NORTH



NOTE:
Lighting examples are suggested for scale and character only, specific
design selection may vary.



NORTH



NORTH

Figure 3-28

Parking Lot Lighting
Example

3.12.1 Objectives and Policies

Objective

Ensure all lighting systems are coordinated and contribute to the overall project identity

Policies

- 1) Efficient lighting patterns that minimize glare and avoid light pollution should be utilized.
- 2) Lighting systems and fixtures should be coordinated throughout the project area with respect to energy conservation, light output, and public safety.
- 3) Private lighting systems should be designed with cutoff-type luminaries to prevent spillover from one land use area to another.
- 4) Use of accent lighting to highlight such features as entries, pathways, special plantings should be encouraged throughout the plan area.
- 5) Colored or flashing lights are discouraged, except for temporary holiday displays.
- 6) Adequate lighting should be provided to ensure public safety.
- 7) Street lighting should occur at all traffic intersections and at regularly spaced intervals along the roadway to provide safety to motorists and pedestrians.
- 8) High pressure sodium vapor lights with cut-off luminaries should be used on public streets, in parking lots, and along public sidewalks to improve energy efficiency and reduce glare impacts.
- 9) Lighting system performance must meet City of Lincoln Public Work Standards.
- 10) Lighting fixtures should be coordinated throughout the project with architectural and environmental elements.
- 11) Lighting fixtures should be designed so that they are well integrated into the architectural and site elements in which they are used.
- 12) The City shall approve the selection of lighting poles and fixtures prior to Final Map recordation.
- 13) The approved thematic lighting shall be utilized consistently throughout The Oaks and throughout the Main Village. Lighting styles may differ between these two districts.
- 14) In Open Space Areas lighting fixtures shall be placed at reduced mounting heights to minimize impacts of lighting on natural systems and surrounding areas.

3.13 Landscape Design

Due to the size and scope of the General Development Plan Area, distinctive approaches to landscape design and character will be employed for each of the four Community Districts. In order to ensure consistency, a Landscape Master Plan will be created prior to the approval of a Specific Development Plan. The Landscape Master Plan will provide detailed standards and criteria for all site specific landscaping. This General Development Plan provides a general direction and criteria for the Landscape Master Plan.

The Landscape Master Plan will focus on two primary objectives; 1) create a pleasant, rural character along Twelve Bridges Drive and throughout the open space preserves and 2) create an identity for each Community District. Informal groupings of native plants and trees combined with unimproved natural areas will be used to create the rural character along Twelve Bridges Drive. Attention to entry features, streetscapes, and open space areas will establish the character and overall identity of a Community District and specific land use areas.

3.13.1 Twelve Bridges Drive

The landscape treatment at the interchange should provide a transition from the existing open grassland areas to an urban landscape treatment along Twelve Bridges Drive at the Main Village. This landscape transition should include the use of ground plane treatments such as ground cover, wildflowers, bulbs, grasses, shrubs, and large groves of flowering accent and background trees to reduce the scale of the interchange as well as reinforce the interchange as the entry to Twelve Bridges and the City of Lincoln.

Planting along Twelve Bridges Drive will include street trees at regular spacing with flowering accent trees placed at key intersections and entries. Landscape should include the use of drought tolerant plant material, which should be arranged within the median and the right-of-way to provide interest to pedestrians as well as automobile traffic.

The landscape treatment at key intersections and entries will feature extensive use of trees and shrubs in combination of formal and natural planting patterns. Focused landscaped areas around entry monuments will provide additional color, texture and detail to the entry.

Landscape along open space portions of the Plan Area should reflect the existing open grassland and oak woodland character visible from the road. Treatment should be restricted to the use of native plants and trees randomly spaced to frame Twelve Bridges Drive and accent open space areas.

3.13.2 Main Village

The core of the Main Village (High Density Residential, and Village Commercial Districts) should have a formal, small town urban character that complements the

Main Street pedestrian environment. Landscape treatment should include formal hardscape elements complemented with uniformly spaced street trees in tree grates with flowering accent trees placed at key intersections and entries, coordinated street furniture, signs and special paving. Parking areas should include accent trees which reinforce circulation and large canopy trees throughout the parking lot. Planting throughout this area will most likely be confined to planters and median landscaping. Plantings should focus on providing accent color to the District and visual interest to the pedestrian as well as vehicular traffic. Visual interest and accent color to the District can be achieved through a variety of colors and textures.

Landscape treatments within Low Density and Medium Density Residential Districts should include the use of large street trees at a regular interval to provide canopy cover to the streets.

The General Commercial District should include generous landscape edges along the arterial and collector streets to provide screening of parking areas, as well as unsightly storage and loading areas. Parking areas should include accent trees, which reinforce circulation, and large canopy trees throughout the parking lot. Landscaped areas to be incorporated into hardscape areas adjoining store fronts. Planting in these areas will soften the building as well as provide a more human scale to large commercial buildings.

The Employment Center Districts, Community College, other institutional sites and civic areas should utilize a campus style landscape approach. This would include large open space areas and landscaping adjacent to the street. These landscape areas would reinforce the significance of the buildings, as well as provide an appropriate streetscape treatment. Parking areas should include large canopy trees to provide shade throughout the parking areas. Parking should be totally screened from the street and are encouraged to be located as far away from the street right-of-way as possible.

The landscape treatment of the parkland should include a combination of formal and informal arrangements. Parks should include the use of large usable turf areas and formal gardens. This should include the use of street trees around the perimeter of the park to provide a canopy edge to the park. Open space areas should be used for pedestrian circulation, gathering areas and recreation.

3.13.3 Southern Valley and The Ridge

Residential neighborhoods should include the use of large street trees at regular intervals to provide canopy cover to the streets. Medians and parkway landscape treatments should utilize drought tolerant plantings arranged to provide interest to motorists and pedestrians through the use of varied colors and textures. Neighborhood entry features, which include an entry monument, should provide additional color, texture and detail that transitions into the treatment along the streets.

The elementary school site should utilize a campus style landscape approach. This would include large open space areas and landscaping adjacent to the street. These

landscape areas would reinforce the significance of the buildings, as well as provide an appropriate streetscape treatment. Parking areas should include large canopy trees to provide shade throughout the parking areas. Parking lots should be totally screened from the street and are encouraged to be located as far away from the street right-of-way as possible.

The landscape treatment of neighborhood parks should include a combination of formal and informal arrangements. Parks should include the use of large usable turf areas and formal gardens. This should include the use of street trees around the perimeter of the park to provide a canopy edge to the park. Open space areas should be used for pedestrian circulation, gathering areas and recreation.

3.13.4 The Oaks

The landscape treatment of this District should reflect the existing oak woodland character of the area. Landscape treatments should be restricted to entries, the Village Commercial, Medium Density Residential and individual estate lots. Landscape treatment should include the use of native plants and trees randomly spaced to frame private streets and drives, and formal garden areas in the Commercial and Medium Density Residential areas.

3.13.5 Objectives and Policies

A) Objective

Provide landscaping concepts that reflect the varied character of the Community Districts.

Policies

- 1) A comprehensive Landscape Master Plan will be prepared for the General Development Plan Area. The plan shall be consistent with the intent and content of this and all other applicable sections.
- 2) All landscape improvements should be consistent with the landscape concepts for the General Development Plan Community Districts.

B) Objective

Ensure adequate and appropriate landscaping is provided in conjunction with all development projects.

Policies

- 1) The Landscape Master Plan will focus on preserving the open, rural character of the site and the following issues:
 - a. Specific treatment for street trees, medians, slopes, pathways, hardscape, fencing, walls, and other landscape elements;
 - b. The design and character of open space areas;
 - c. a comprehensive master plant matrix that identifies plant material and their appropriate uses within each zone;
 - d. a master street tree plan identifying type and location of street trees within all zones;

- e. provisions to ensure efficient landscape designs that minimize water use, maintenance, and environmental impacts;
- f. provisions to ensure substantial landscaping and buffering along all primary and secondary streets;
- g. provisions to ensure strategic shade tree planting occurs to improve the cooling efficiency of buildings and minimize heat island effects of paved surfaces;
- h. provisions to ensure the use of landscaping to mitigate the impacts of grading on hillside areas;
- i. provisions to ensure that all soils are properly prepared to support the long term survival of all plant materials;
- j. provisions to ensure that landscaping is used to enhance the appearance of natural open space areas; and
- k. a section describing the process for reviewing and processing landscape plans for Specific Development Plans consistent with the requirements of the City of Lincoln.

C) Objective

Utilize landscaping as the primary component of entry features.

Policies

- 1) Specimen quality planting should be used as a part of each entry feature.
- 2) Ornamental and specialty plantings are considered appropriate accents to project entry features consistent with the rural character and open space areas.
- 3) Entry feature landscapes should complement the surrounding open space areas.

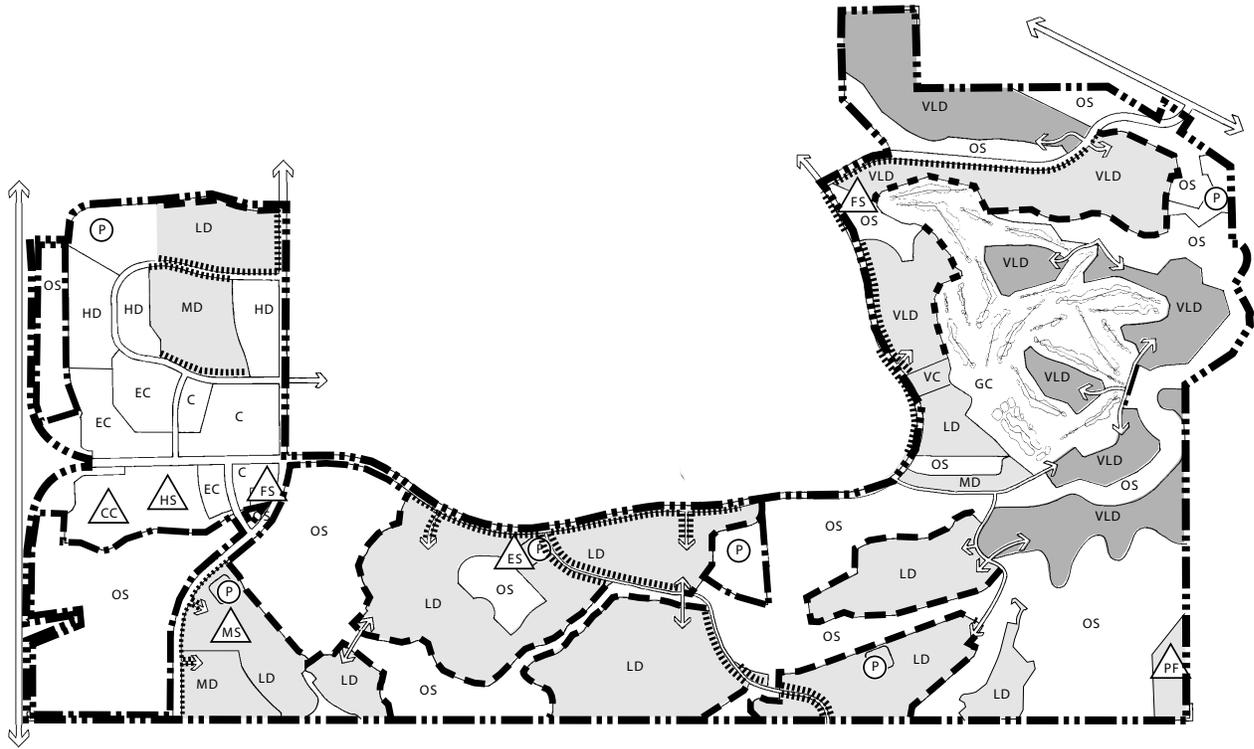
3.14 Walls and Fences

Walls and fencing can provide a setting for entryway landscaping and treatments which differentiate neighborhoods between residential lots and assist in defining a sense of place. Fences also provide separation between residential for individual privacy. Solid fences or block walls may also provide separation between residential and more intense uses to mitigate noise and other encroachments. All fencing will be installed and coordinated with landscape treatments.

In addition to providing a setting for entryway landscaping, walls perform functions such as noise attenuation for residential and noise sensitive uses along arterial streets and occasionally along heavily traveled collector streets. Landscaping of walls along public streets is essential to create a boulevard effect and avoid a “tunnel” like effect.

A coordinated system of fencing has been established that responds to a variety of special fencing conditions related to aesthetics, safety, privacy and site conditions. Permitted locations for fencing types are established by Figure 3-30. Construction specifications for each type of fencing are to be covered in the Landscape Master Plan. Fencing throughout the Plan Area will be regulated by this section in conjunction with the Development Code Standards specified in this Plan and the Landscape Master Plan.

GENERAL DEVELOPMENT PLAN

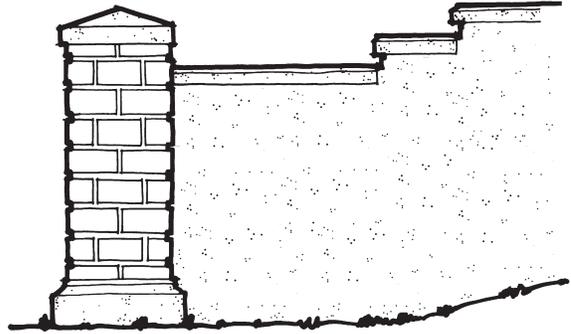


Legend

-  Block Wall (Type 1)
-  Residential Yard Fencing (Type 2)
-  Open Fencing (Type 3)
-  Edge Fencing (Type 4)
-  Open Fencing (Type 5)
-  Open Wire Fencing (Type 6)
-  Plan Area Boundary

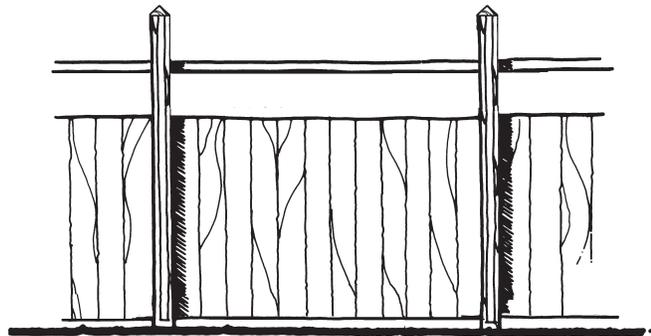
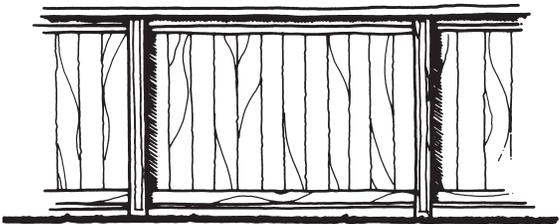
NOTE: Fence types and locations are conceptual only. Suitable alternatives that meet the intent of this section are acceptable. Relocation or elimination due to site specific conditions is permissible.





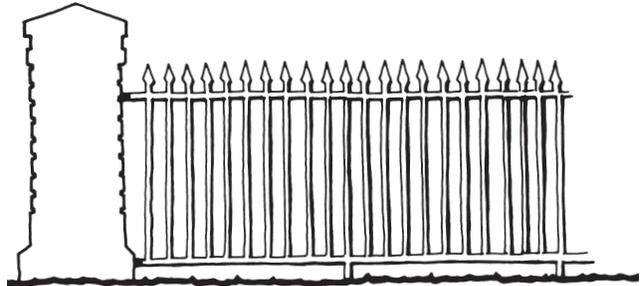
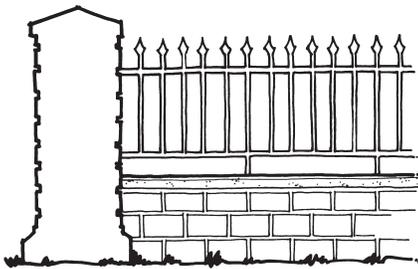
TYPE 1 FENCE: Perimeter Wall

Perimeter Walls should be six (6) feet in height and constructed from split face concrete block or other comparable solid material (i.e. plaster, stucco, or brick.)



TYPE 2 FENCE: Residential Yard Fencing

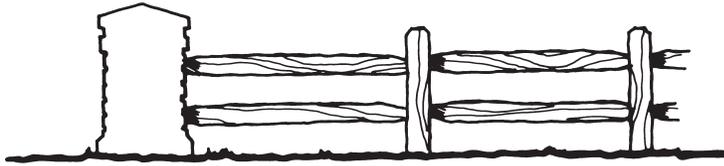
Residential Yard Fencing should be six (6) feet in height. This fence shall be constructed from redwood, cedar or comparable material.



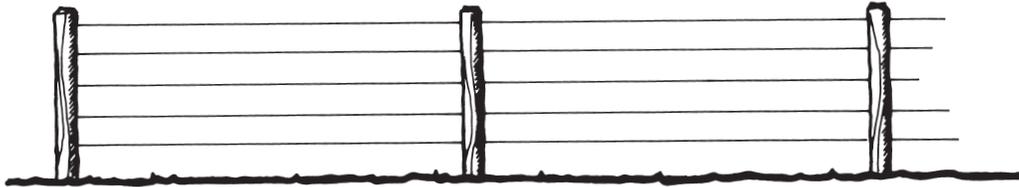
TYPE 3 and TYPE 5 FENCE: Open Fencing

Open fencing located adjacent to the golf course and within residential rear and side yards abutting open space areas should be decorative wrought iron or other material suitable for the open character (i.e. steel, wood pickets, etc.) six (6) feet in height. When used in front yard setbacks, fence shall not exceed 3' in height.

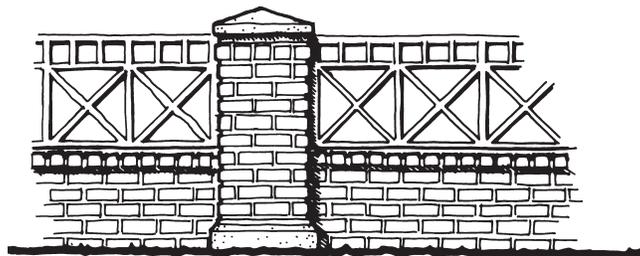
Figure 3-30



TYPE 4 FENCE: Edge Fencing
Edge Fencing at Estate Residential along the golf course should be split rail or similar fencing (2-3 rails) and should be three (3) feet, typically.



TYPE 6 FENCE: Open Wire Fence
Open Wire Fencing located adjacent to open space should be four (4) feet in height. This fencing should be constructed from 12 gauge fencing wire and 4" diameter pressure treated lodgepole posts.



TYPE 7 FENCE: Parking Lot Screen Fencing
Parking Lot Screen Fencing should be architecturally unified (i.e. similar materials and colors) with adjoining development. Fencing height may vary with individual conditions.

Table 3-7 Fencing Classifications

Fence Type	Description	Permitted Application
Type 1	Block Wall	Residential rear and side yards along arterial and collector streets
Type 2	Residential Yard Fencing	Residential rear and side yards
Type 3	Open Fencing	Rear and side yards than are adjacent to golf course
Type 4	Edge Fencing	Estate Residential rear yard along golf course
Type 5	Open Fencing	Residential rear and side yards abutting Open Space
Type 6	Open Wire Fence	Adjacent to open space
Type 7	Parking Lot Screen Fencing	Parking lots adjoining public streets, loading areas

3.14.1 Objective and Policies

Objective

Establish a coordinated system of walls and fencing that contribute to the identity and character of Twelve Bridges.

Policies

- 1) Walls and fences should incorporate materials, colors, and shapes that appropriately reflect the history, geography, and character of the region and of the project site.
- 2) All fencing should meet the design criteria described in Table 3-7 and Figures 3-29 and 3-30

Objective

Provide landscaping in conjunction with all wall or fence installation.

Policies

- 1) A minimum five foot landscape area should be provided along the outside edge of any fence or wall adjoining a publicly accessible or visible area.
- 2) Landscape plans should be prepared in conjunction with any wall and fencing improvement.
- 3) The landscape improvements should complement the character of the wall or fence.
- 4) The developer should be responsible for the installation of fencing and installation of all related landscape materials, irrigation systems, and provide a long term maintenance agreement or other method of maintenance.

Objective

Ensure walls and fencing provide adequate security, privacy and safety.

Policies

- 1) All walls and fencing should be constructed of high quality, long lasting, low maintenance and vandal resistant materials.
- 2) Fencing should be tall enough to provide reasonable privacy and security.
- 3) Fencing should not diminish public or private views.
- 4) Fencing and walls should be designed to minimize policing problems, indefensible spaces, and hiding spots.

3.15 Signage and Identification Program

Signs and landmarks provide an important element of community design. Proper design and application of signs and landmarks help orient residents and visitors while improving a community’s sense of place. By directing drivers to desired locations, signage improves circulation efficiency and access to important community destination points. Numerous neighborhood and project specific sign walls and marketing logos will be restricted because they tend to enforce a perception of separation rather than community cohesiveness.

A framework for a coordinated signage and identification system has been established that responds to a range of conditions. The signage system utilizes thematic features, monuments, landscape, public art and landmarks to provide identity and cohesiveness to the Plan Area. Permitted types of identification features and signage elements are specified in Table 3-8, Identification System. Permitted locations for signage are established by Figure 3-31, Signage and Monument Diagram. Detailed sign criteria, materials and sizes may be identified in conjunction with the Comprehensive Landscape Master Plan prepared prior to final map recordation.

Table 3-8 Identification System

Identification Feature	Description	Permitted Application
Type 1	Project Monument	Highway 65 /Twelve Bridges Drive Entry
Type 2	District Monuments	District Area Identification Feature
Type 3	Secondary District Identification Feature	Neighborhood Identification Feature
Type 4	Community Project Features	Public Facilities, Parks, Schools, Community Buildings, Open Space Areas

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Identification Feature	Description	Permitted Application
Type 5	Informational Signage	Directional Signage, Interpretive Signage, Informational Signage
Type 6	Street/Traffic	Traffic Control, Parking, Street Signage
Type 7	Commercial/Employment Signage	Village and general commercial areas, employment centers
Type 8	Trail Signage	Non-vehicular pathways
Type 9	Marketing Signage	Temporary Marketing and Sales Signage



Legend

-  Project Monument
-  District Monument
-  Secondary District Signage / Monument
-  Community Project Signage
-  Historic Street and Directional Signage
-  Thematic Street and Directional Signage
-  Traditional Street and Directional Signage
-  Plan Area Boundary



Figure 3-32
GENERAL DEVELOPMENT PLAN
Signage and Monument Diagram

3.15.1 Objectives and Policies

Objective

Ensure all signage elements reinforce the Twelve Bridges character, and are coordinated with the design of the surrounding vicinity.

Policies

- 1) Signage elements should incorporate materials, colors, and shapes that appropriately reflect the history, geography, and character of the region and project site.
- 2) The design of signage features should be coordinated with any adjoining walls or fencing elements.
- 3) Signage should be constructed of high quality, low maintenance, and long lasting materials.
- 4) Signs should be clear, concise, and informative.
- 5) Sign materials and designs should be compatible with and complementary to the structures and areas that they identify.
- 6) The design of a City of Lincoln Entry monument sign along Highway SR65 at the Southern project boundary should be coordinated with the project signing program and consistent with the adopted City of Lincoln downtown Urban Design Guidelines.

Objective

Coordinate all signage features under a consistent project wide identification system.

Policies

- 1) All project identification features and signage elements should comply with the Twelve Bridges Signage System design criteria.
- 2) All identification features and signs should comply with the City of Lincoln Title 16 Ordinance, Uniform Building Code for Signs. Modified signage programs may be approved by the City as a part of a Specific Development Plan applications where appropriate.
- 3) The “Twelve Bridges” name and logo should be selectively used in limited applications.
- 4) Permanent project signs, monuments, and logos along Twelve Bridges Drive should be consistent in size, scale and character.
- 5) Thematic elements such as monuments, icons, landscaping and public art should be used instead of “worded” signs and logos.
- 6) Bill boards and other non-site specific signage, except for marketing for the project within Twelve Bridges Specific Plan Area, shall be prohibited in the open space areas on site.

3.15.2 Design Criteria and Standards

Although these Criteria and Standards are only descriptive in nature, in the event of a conflict between the intent of the standards specified herein and Title 16, compliance with the intent of the specifications herein shall take precedence.

Project Monument (Type 1)

The Project Monument (Type 1) will be located on Twelve Bridges Drive near the Highway 65 interchange. This identification feature will reflect the significance, character and quality of Twelve Bridges.

Criteria and Standards

- 1) Incorporate a classic and subdued design approach.
- 2) Be consistent with the City of Lincoln Urban Design Plan Guidelines.
- 3) Complement the design and character of Twelve Bridges Drive.

District Monument (Type 2)

District Identification (Type 2) signage features will delineate the specific Districts of Plan Area A such as the “Main Village” and “The Oaks”. These monuments will be located at key district entries along Twelve Bridges Drive, Lincoln Parkway and along residential collector streets leading into the Districts Plan Area from the south.

Criteria and Standards

- 1) Utilize materials similar to those found in the District that adjoin the entry area.
- 1) No worded signage features, logos or individual project identifiers shall be permitted.
- 4) Native or naturalized accent plantings should punctuate the location of the District Monument as well as create a transition to the surrounding open space areas.
- 5) Signs should only be externally illuminated.

Secondary District Identification (Type 3)

Secondary-District (Type 3) identification features will identify neighborhoods and other important sub areas throughout the Plan Area. Type 3 signage may be implemented on minor collector streets and private drives. Type 3 signage may be permitted along Twelve Bridges Drive and Lincoln Parkway if it is in conjunction with a Type 2 feature.

Criteria and Standards

- 1) Unique landmarks, thematic elements or public art features.
- 2) Subdued landscaping that reflects the neighborhood character.
- 3) Low thematic walls or fencing.
- 4) No worded signage features, logos or individual project identifiers shall be permitted any where along Twelve Bridges Drive or Lincoln Parkway.
- 5) Signs should only be externally illuminated.

Community Feature (Type 4)

Community Project (Type 4) signage will identify key features and designation points such as parks, schools, community buildings and open space areas. The signage will be visible at the entryway of the public facility. The design and style of signage will appeal to public place or open space.

Criteria and Standards

- 1) Unique signage design that is coordinated with the feature being identified.
- 2) Subtle use of the Twelve Bridges name, logo, or thematic elements, (i.e., arched bases, center keystone, project rock, and thematic columns).
- 3) A low, monument type design for all free standing signs. Identifying signage should be incorporated into buildings when possible.
- 4) Materials used should be consistent with building architecture or surrounding site context.
- 5) Durable, low maintenance and vandal resistant materials.
- 6) Coordinated landscaping.
- 7) Overall sign character should be subtle and subdued.
- 8) Colors should be limited to earth tones.
- 9) Signs should only be externally illuminated.

Informational (Type 5)

Informational signage (Type 5) provide directional information for key destination points. All directional signs will follow the same coordinated design approach and provide consistent, unifying element throughout the Plan Area. Type 5 signage will be permitted along all Plan Area roadways.

Criteria and Standards

- 1) Signs should identify key project features with names and arrows including but not limited to parks, public buildings, schools, neighborhoods, shopping areas.
- 2) The design of thematic sign poles or monuments should reflect the character of the surrounding district.
- 3) Signboards should utilize coordinated color, typography, size and layout.
- 4) Signs should include the subtle use of the Twelve Bridges name and logo in a “keystone” position.
- 5) All signs should be constructed of durable, low maintenance and vandal resistant materials.

Street/Traffic (Type 6)

Street/Traffic (Type 6) signage provides a unified design approach for street and traffic control signs.

Criteria and Standards

- 1) A coordinated, custom designed signage system for all street signs should be used throughout the entire Plan Area.
- 2) Traffic control sign poles and frames should follow a coordinated thematic design and color scheme.
- 3) A unifying color scheme should be used for all lamp posts, signal lights, sign posts, and utilities.
- 4) Signal lights and lamp posts may include provisions for seasonal/decorative banners.

Commercial/Employment (Type 7)

Commercial and business (Type 7) signage regulates private commercial and business signage. The design and style of signage will influence the appeal of the commercial or business establishment. Standards for all private commercial and business signage will be regulated by this section in addition to the City of Lincoln’s Title 16 Uniform Building Code for signs. In the event of a conflict between the standards specified herein and Title 16, the specifications herein shall prevail.

Criteria and Standards

- 1) Major anchor tenants may provide one free standing signage along each street frontage provided the sign area does not exceed 50 square feet.
- 2) Free standing signs are limited to monument types only and shall not exceed six feet in height. Pole signs are discouraged.
- 3) All free standing signs should be externally illuminated or have individual formed “channel” lettering. Internal background illumination is discouraged.
- 4) The number of free standing signs is restricted to one per primary street frontage, for each parcel.
- 5) Monument signs should be incorporated into a landscape setting.
- 6) Attached walls signs must be incorporated into the building architecture and shall not extend beyond roof.
- 7) The aggregate area of all wall and window signs shall not exceed one square foot per linear foot of building frontage, up to a maximum permitted area of 300 square feet per tenant space.
- 8) In cases where no primary anchor tenant exists freestanding signs may only identify the project name, not individual tenants.
- 9) All proposed signs are to be consistent with an approved signage master plan for each development.
- 10) All signs shall conform to the City of Lincoln’s Title 16 Uniform Building Code for Signs in addition to the provisions in this section.

Trail Signage (Type 8)

Trail (Type 8) signage will complement the rural character of the Plan Area. Signage is limited to providing direction. Type 8 signage is to be provided at street crossings and trail intersections.

Criteria and Standards

- 1) A coordinated, signage system for all tramways should be used throughout the entire Plan Area.
- 2) All signs should be constructed on an 8x8 redwood or pressure treated post.
- 3) Vertical oriented lettering and logo to be sandblasted onto post
- 4) All signs should be limited to areas where trail/pathway intersects a roadway or with another trail, and at trailhead. Trailheads are to be established at points of interests such as a school, park, community center shopping area or residential neighborhood area.
- 5) Signs should include the subtle use of the Twelve Bridges name and logo in a “keystone” position.
- 6) Overall sign character should be subtle and subdued.

Marketing (Type 9)

Marketing (Type 9) signage will provide a unified approach to temporary marketing of real estate. Marketing signage for individual development projects will only be allowed in a Type 9 configuration.

Criteria and Standards

- 1) All signs should incorporate the same design criteria used in Type 5 signage features.
- 2) Temporary marketing names and logos are permitted within a coordinated signboard area.
- 3) The location points and sizes will be subject to design review for approval.
- 4) The maximum area of any individual sign should not exceed 32 square feet.
- 5) The off-site use of flags, banners, and poster signs are prohibited.
- 6) All Type 9 signs should conform to the “City of Lincoln’s Title 16 Uniform Building Code for Signs” in addition to the provisions in this section.

4.0 Implementation

This section outlines the measures, actions and policies that are available to implement this General Development Plan. Included are descriptions of administration, regulation, maintenance, financing, phasing and policy mechanisms that will ensure coordinated development of Plan Area A.

4.1 Phasing

Development within the Twelve Bridges General Development Plan Area A will occur in a series of phases (refer to Figure 4-1, Phasing Plan). These phases may occur in any order provided the supporting infrastructure improvements are made. A Tentative Subdivision Map may be processed for portion of a phase area or may cover a number of phases.

4.2 Infrastructure Improvements

The construction of off-site infrastructure shall be phased in accordance with the City's Public Facilities Element and the project Development Agreement. Development of individual parcels and supporting infrastructure (i.e. roadways and utilities) may occur simultaneously or separately. The actual sequence shall be determined by economic and market conditions, unless otherwise specified in the Development Agreement.

In the event development is constructed prior to the availability of infrastructure within or immediately adjacent to the planned developed, provisions for necessary infrastructure will be made in accordance with the Development Agreement. This will include provisions for the construction of roadways to provide access to the development and the extension of necessary utilities and infrastructure such as water, sanitary sewer and storm drain facilities necessary to the development.

4.3 Design Review Procedures

All development within General Development Plan Area will be subject to the building approval process for all new construction, as is required by the City. In regards to the 'Oaks' Community district, as described in Section 1.3.4, there will be an additional design review process required for development within this district. The purpose of the design review process is to ensure proper implementation of the

Community Character Design Guidelines and consistency with the intent of the Twelve Bridges Specific Plan. The design review process will be conducted by a Review Committee that is appointed by Placer Holdings, Inc.

4.3.1 Design Review Committee (DRC)

A five (5) member Design Review Committee (DRC) will be established and will consist of the members listed below. The DRC will be responsible to review all development plans for the ‘Oaks’ Community to ensure consistency with these guidelines. In the early stages of community development this will be critical to establish the desired character for the hillside ‘Oaks’ Community.

- a. Three (3) at large members of the DRC will be appointed by Placer Holdings Incorporated.
- b. Two (2) design professionals (i.e. planners, architects, landscape architects or other related consultants) appointed by Placer Holdings Incorporated.
- c. For the purpose of conducting design review committee meetings, the chairman will be selected from the committee by the members. Other non-voting individuals may also attend meetings of the DRC.

4.3.2. Design Review Procedures

All project proposals within the Oaks Community must be submitted for review and approval by the DRC prior to submittal to the City of Lincoln for approval. In the case of Commercial Development, the submittal must occur prior to submittal of Specific Development Plan approval. In the case of Residential Development, any revisions to the Tentative Map shall be reviewed and approved by the DRC prior to submittal and all residential homes shall be submitted to the DRC prior to building permit approval.

Nonresidential Development Resort Commercial Uses

This section shall apply to all projects in the RC-1 district.

- 1) Prior to submittal to the City of Lincoln for proposed Nonresidential Specific Development Plan approval, three (3) sets of plans shall be submitted to the Design Review Committee for review and approval.

The submittal shall include but not necessarily be limited to the following.

- a) A detailed scaled plot plan showing building footprint, parking areas with number of stalls, associated landscaping, fence locations, and adjacent streets with detailed streetscape information.
- b) Floor plans and elevations for all four (4) sides of each building.
- c) Exterior material, sample boards showing exact materials and colors.
- d) A landscape plan indicating street trees, species, size, location and planting details.
- e) Full colored rendered street elevations of building facades.

- 2) Within twenty (20) working days (4 weeks) of receipt of a complete submittal, the DRC shall approve, make recommendations for modifications or deny this submittal and shall forward such decision to the applicant. Failure of the DRC to approve within this time-frame shall be considered denial.

Production/Residential Development

This section shall apply to all projects in the LDR 10/CD, LDR 8/CD and MD-1/CD districts unless it is determined that the project is custom residential.

- 1) Prior to submittal to City of Lincoln for proposed production home construction, three (3) sets of plans shall be submitted to the Design Review Committee.

The submittal shall include but not necessarily be limited to the following:

- a) A detailed 1" to 40' scale plot plan showing all existing natural features, proposed building footprint, driveway locations, common landscape areas, location of fencing, street trees, and adjacent street frontage for each of the production units proposed.
- b) Floor plans and elevations of all four (4) sides of the structure including elevations for any detached structures such as garages.
- c) An exterior material sample board showing the exact materials and colors for each unit.
- d) Elevations and a color and materials sample of all proposed walls and fences.
- e) A landscape plan indicating street trees, species, size, location and planting details (1"= 20' scale).
- f) Full colored rendered street elevations of each production unit.
- g) A minimum of four (4) models with four (4) elevations each will be required for every 100 homes or less. For neighborhoods of 100 homes or more, the committee may require additional models and elevations to ensure variety in the architectural landscape of the neighborhood.
- 2) Within twenty (20) working days of receipt of a complete submittal, the DRC shall approve conditionally or deny the submittal and shall forward such decision to the applicant. Failure to the DRC to approve the submittal shall be considered denial.

Custom Residential Development

This section shall apply to all detached residential projects where each proposed unit is of a unique design.

- 1) Prior to submittal to the City of Lincoln for proposed custom home construction, three (3) sets of plans shall be submitted to the Design Review Committee (DRC).

The submittal shall include but not be necessarily limited to the following:

- a) A landscape plan and plot plan indicating the existing natural features, proposed building footprint, street trees, species, size, location, and planting details (1" = 20' scale).
 - b) Floor plans and elevations for all four (4) sides of the structure including elevations for ancillary structures such as detached garages, secondary units, etc.
 - c) Exterior material sample board showing the proposed materials and colors.
 - d) A full colored rendered set of all four (4) elevations for each structure.
- 2) Within twenty (20) working days of receipt of a complete submittal, the DRC shall approve conditionally or deny the submittal and shall forward such decision to the applicant. Failure of the DRC to act upon the submittal within this time-frame shall constitute denial.

Subdivision Design

This section shall apply to all large lot and small lot tentative subdivision maps.

- 1) Prior to the submittal of any tentative map to the City of Lincoln for approval as a Specific Development Plan, three (3) copies of the Tentative Map shall be submitted to the Design Review Committee (DRC).

The submittal shall include but not necessarily be limited to the following:

- a) A scaled street layout and lotting plan showing lot dimensions, orientation and preliminary concepts (a separate grading plan may be submitted).
 - b) A semi-illustrative scaled site plan showing street improvement concepts in public open space landscape concepts. While landscape plans can be conceptual at this level, accurate depiction of placement and selection of tree, species, size and location is imperative. The semi-illustrative plan should show park landscape concept plans as well.
 - c) Two (2) site sections detailing vertical grade relationships between lots across the site.
- 2) Within twenty (20) working days of receipt of a complete submittal, the DRC shall approve with recommended modifications or deny the site plan and

shall forward such decision to the applicant. Failure of the DRC to approve the plan within this time-frame shall be considered denial.

Parks and Open Space Development

This section shall apply to all projects in the OS-R and OS-C/CD districts.

- 1) Prior to submittal to the City of Lincoln for approval of any park development either in conjunction with or independent of a neighborhood development, three (3) sets of plans shall be submitted to the Design Review Committee (DRC).

The submittal shall include but not necessarily be limited to the following:

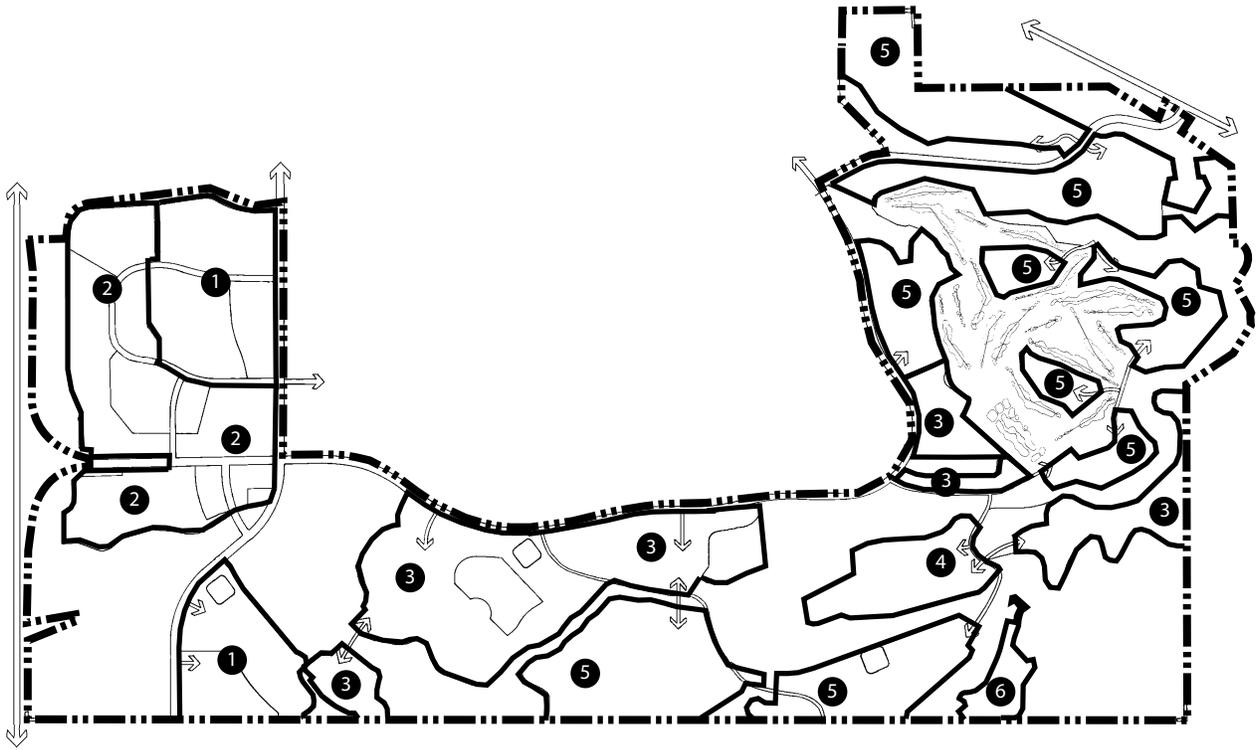
- a) A scaled master plan showing all pertinent existing natural features and the proposed features of the park development to include structures, walkways, bikeways, and multi-modal pathways, planting areas, trees, species, size, and locations, paving and hardscape areas to include detailed information on surface treatment and material.
 - b) A plant list and planting palette showing all levels of landscape elements within the park from trees down to ground cover.
 - c) Specifications on park lighting with examples of lighting fixtures.
 - d) Product literature or illustrative sketches of park play equipment and furniture.
- 2) Within twenty (20) working days of receipt of a complete submittal, the DRC shall approve, conditionally approve or deny the landscape plan and shall forward such decision to the applicant. Failure to approve within this specified time-frame shall be considered denial.

4.3.3. Verification of Completed Review

The Design Review Board shall issue a letter and/or stamp of approval for the applicant to submit with the plans to the City of Lincoln for City level approvals.

4.3.4. Procedural Modifications

The Design Review Committee may at any time modify and/or delete requirements to the list of submittal materials identified above if it is determined that the information received is either incomplete or extraneous. It is the purpose of this process to not encumber any applicant with greater bureaucracy and it is the intent of the Design Review Committee to ensure expeditious review of all submittals providing design consistency and compatibility for the community.



Legend

-  Phase Boundary
-  Phase Labels
-  Plan Area Boundary



4.4 Landscape Maintenance

Maintenance of common facilities such as the landscape corridors, the open space parkway, wetlands preserve, water features, street lights and street furniture will be maintained by a Lighting and Landscape Assessment District or other public or private mechanisms acceptable to the City.

4.5 Public Facilities Financing

Public Facilities Capital Costs for a portion of off-site improvements and all “Backbone” on-site improvements and facilities shall be financed through participation in either the PFE Financing Plan or by direct funding as set forth in the project Development Agreement.

4.5.1 Public Facilities Funding

Funding for initial infrastructure improvements will be obtained from cash payments, assessment districts, community facilities districts or other comparable financing mechanisms.

4.5.2 Off-Site Public Facilities

Development of Plan Area A will be supported by various off-site improvements such as transportation systems, pipeline facilities, public protection and administration services, schools and parks. The initial improvements that are necessary to support development of Plan Area A shall be paid for as set forth in the project Development Agreement.

4.5.3 On-Site Public Facilities

On-site “Backbone” infrastructure necessary to support development within Plan Area A shall be paid for by the developer. The “Backbone” infrastructure required to support the Plan Area A includes water, sewer, storm drainage and roadway improvements that are necessary to serve individual subdivisions within the project. Individual subdivision infrastructure and development costs shall be paid by individual builders.

4.6 Implementation Policies

4.6.1 Administration

The City of Lincoln Community Development Department is the public agency responsible for the administration, implementation and enforcement of the Specific

Plan and the General Development Plan. The developer, his successor and the individual parcel owners, will also be able to enforce the provisions of the Plans by way of the Design Review Committee (DRC), CC&R's and possibly a Homeowner's Association.

This General Development Plan and the adopted Specific Plan shall serve as guiding documents for development within Plan Area A. Sections 2.0 and 3.0 of this General Development Plan contains the key subsections for review of subsequent Specific Development Plans and development proposals.

4.6.2 Amendment

The California Government Code Section 65453, clearly states that a Specific Plan "may be amended as often as deemed necessary by the legislative body." This General Development Plan because of its relationship to the adopted Twelve Bridges Specific Plan shall be subjected to the same amendment procedures. Where amendments to the General Development Plan affect its consistency with the Specific Plan, the Specific Plan must also be amended.

Amendments to this Plan may be initiated by the developer, any individual property owner and by the City, according to any terms and conditions imposed during the original approval or according to any terms and conditions pertaining to planned development ordinances.

4.6.2.1 Significant Changes

The Director of Community Development shall within ten (10) days of any submittal of a request to amend this Plan, determine whether the amendment is significant or insignificant. If the amendment is determined to be significant, the application shall be reviewed and considered in the manner prescribed by City ordinance. If the amendment is determined to be insignificant, the Director may approve or deny the application. Any decision of the Director may be appealed to the Planning Commission and/or the City Council, pursuant to the City's adopted appeal procedures, provided said appeal is initiated within ten (10) working days of receipt by the applicant of written notice of the Director's decision. Any appeal will require an application and fee as specified by City Ordinance.

Examples of significant amendments

1. The introduction to the plan or project area of a new land use designation not contemplated in this Plan or in this Plan as subsequently amended.
2. Changes in the designation of land uses affecting five acres or more from that shown in this plan or in this Plan as subsequently amended.
3. Changes to the circulation system or community facility design which would materially affect a planning concept detailed in General Development Plan or the GDP as subsequently amended.

4. Changes or additions to the design guidelines which materially alter the stated intent of the Specific Plan, or the Specific Plan as subsequently amended.
5. Any change which would result in a significant and adverse environmental impact.

Examples of insignificant Amendments

1. Substantial compliance with the “Conventional Housing Option” as set forth in the Twelve Bridges Specific Plan.
2. Adjustments in Land Use and zoning district boundaries that do not alter the integrity of the proposed Land Use Plan and does not increase acreage within a particular land use category or zone by more than 5 acres.
3. Change to design concepts affecting lighting signage or fencing that does not result in environmental impacts .

4.6.2.2

Necessary Findings

The consideration of any proposed amendment to this Plan shall include the determination of the following findings:

Required Findings

1. Changes have occurred in the community since the approval of the original Specific Plan and General Development Plan which warrant approving the proposed amendment.
2. The proposed amendment is consistent with the General Plan for the City of Lincoln.
3. The proposed amendment will result in a benefit to the community within the project area.
4. The proposed amendment will not result in any unmitigated impact to adjacent properties.
5. The proposed amendment will enable the delivery of services and public facilities to the population within the project area .

4.7 Development Agreement

A Development Agreement will be prepared setting forth the responsibilities of both the developer and the City of Lincoln regarding financing, construction and phasing of infrastructure, maintenance of facilities and services along with the probable time-line of each entity. This Development Agreement will provide support, reinforcement and regulation to the Specific Plan and this General Development Plan.

<END>